

SORENSEN RESIDENCE

General Notes

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the State of Montana, practicing in Whitefish, Montana.

17-26
 Reg. No. 2632
 AARON J. WALLACE
 Date: 09/25/17

THESE PLANS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF MONTANA CREATIVE ARCHITECTURE AND DESIGN. ANY REPRODUCTION OR REUSE OF THESE DOCUMENTS IS FORBIDDEN WITHOUT WRITTEN PERMISSION FROM MONTANA CREATIVE ARCHITECTURE AND DESIGN.

Project Number: 17-26
 Date: 09/25/17
 Drawn By: JKR
 Checked By: RJN
 Revisions:

REVISION SCHEDULE

#	DESCRIPTION	DATE
---	-------------	------

Architectural Rendering



Drawing Sheet Index

ARCHITECTURAL SHEETS

- A0.T TITLE SHEET
- A1.0 FOUNDATION PLAN
- A2.0 SITE PLAN
- A2.1 FIRST FLOOR PLANS
- A2.2 SECOND FLOOR PLANS
- A2.3 ROOF PLAN
- A2.4 REFLECTED CEILING PLANS
- A3.1 BUILDING ELEVATIONS
- A4.1 BUILDING SECTIONS
- A4.2 BUILDING SECTIONS
- A4.3 BUILDING SECTIONS
- A4.4 WALL SECTIONS
- A4.5 DETAILS, STAIRS, PARTITION TYPES
- A6.1 WINDOW & DOOR, DETAILS, AND TRIM, & PARTITION TYPES
- A9.0 PERSPECTIVES
- A9.1 PERSPECTIVES

Project Contacts

OWNER/DEVELOPER
 OLD MONTANA BUILDING CO
 300 EAST 2ND ST #3
 WHITEFISH, MT 59937
 406-871-6316 (P)

ARCHITECT
 MONTANA CREATIVE
 ARCHITECTURE AND DESIGN
 158 RAILWAY ST.
 WHITEFISH, MT 59937
 406-862-8152 (P)
 406-862-8153 (F)
 CONTACT: JILLIAN LAWRENCE

GENERAL CONTRACTOR
 OLD MONTANA BUILDING CO
 300 EAST 2ND ST #3
 WHITEFISH, MT 59937
 406-871-6316 (P)

OWNER/DEVELOPER
 OLD MONTANA BUILDING CO
 300 EAST 2ND ST #3
 WHITEFISH, MT 59937
 406-871-6316 (P)

ARCHITECT
 MONTANA CREATIVE
 ARCHITECTURE AND DESIGN
 158 RAILWAY ST.
 WHITEFISH, MT 59937
 406-862-8152 (P)
 406-862-8153 (F)
 CONTACT: JILLIAN LAWRENCE

GENERAL CONTRACTOR
 OLD MONTANA BUILDING CO
 300 EAST 2ND ST #3
 WHITEFISH, MT 59937
 406-871-6316 (P)

Architectural Symbols

Room name 150 SF			
AREA TAG			
CALLOUT HEAD		ROOM, WINDOW, & DOOR TAGS	
GRID HEAD		SECTION HEAD	
LEVEL DATUM		VIEW NAME A3.10 1/8" = 1'-0"	
		VIEW TITLE	

GENERAL PROJECT NOTES

- TYPICAL DOOR JAMB OFFSET IS 4" FROM FINISHED FACE OF ADJACENT WALL.
- PROVIDE ESCUTCHEON PLATES AT ALL KITCHEN AND BATH PIPE PENETRATIONS.
- INSTALL FIRE BLOCKING IN ACCORDANCE WITH THE BUILDING CODE. FOR EXAMPLE:
 - A) CONCEALED STUD WALLS & PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING & FLOOR LEVELS AND AT 10 FT. INTERVALS BOTH VERTICAL AND HORIZONTAL.
 - B) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES. (SOFFITS, DROPPED CEILINGS, COVE CEILINGS, ETC.)
 - C) IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, AND SIMILAR OPENINGS.
- TERMINATE CYP SD TO DISSIMILAR MATERIALS WITH CYP SD CASING HEAD AND SEALANT.
- ALL VERTICAL WALL EDGES WILL RECEIVE A BULL NOSE CORNER. ALL AREAS WHERE CEILING MEETS VERTICAL CYP SURFACES WILL BE ROUNDED EDGES.
- INSTALL CRAWLSPACE VENTS IN RIM JOIST OF FIRST FLOOR GENERAL.

FLOOR PLAN NOTES:
 PROVIDE NATURAL LIGHT EQUAL TO 1/10TH OF THE FLOOR AREA (MIN 10 SQ FT.)
 PROVIDE NATURAL VENTILATION BY MEANS OF OPERABLE EXTERIOR OPENINGS OF NOT LESS THAN 1/20TH OF THE FLOOR AREA (MIN 5 SQ FT.)

EGRESS AT LEAST ONE WINDOW IN EVERY ROOM USED FOR SLEEPING PURPOSES SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. MINIMUM OPENING HEIGHT OF 24" MINIMUM WIDTH OF 20" (NOTE ONE OR BOTH OF THESE MINIMUMS MUST BE GREATER TO EQUAL THE 5.7 SQ FT.) FINISH SILL HEIGHT SHALL BE A MAXIMUM OF 44" FROM THE FINISH FLOOR.

HABITABLE SPACE: CEILING HEIGHT MIN. 7'-6". AT LEAST ONE ROOM SHALL HAVE A FLOOR AREA OF 120 SQ. FT. OTHER ROOMS SHALL HAVE AT LEAST 70 SQ. FT. OF FLOOR AREA. NO ROOM DIMENSION SHALL BE LESS THAN 7'-0".

GLUING AND NAILING SHALL BE:
 USE ADHESIVES MEETING APA SPECIFICATIONS AFG-01, APPLIED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. APPLY CONTINUOUS LINE OF GLUE ON JOISTS AND CONTINUOUS OR SPACED LINE OF GLUE IN GROOVE OF TONGUE AND GROOVE PANELS. USE 8D RINGS OR SCREW NAILS @ 8" O.C. @ EDGES AND 8D RING OR SCREW SHANKED NAILS @ 12" O.C. @ INTERMEDIATE SUPPORTS.

BRACING BETWEEN FLOOR JOISTS SHALL NOT EXCEED 8 FEET ON CENTER. JOISTS IN EXCESS OF 10" IN DEPTH REQUIRE SOLID BRACING. SOLID BRACING IS REQUIRED ALSO AT ALL BEARING POINTS.

R-19 BELOW FLOOR OR R-11 IN CRAWL SPACE.

STANDARDS OF COMPLIANCE = CURRENT UNIFORM BUILDING CODE.

CONSTRUCTION LOADS SHALL NOT OVERLOAD THE STRUCTURE NOR SHALL THEY BE IN EXCESS OF THE DESIGN LOAD.

MINIMUM CLEAR CRAWL SPACE ACCESS OF 18" X 24".

GENERAL NOTES:
 DONOT SCALE DRAWINGS.

ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, LAWS, PERMITS, AND THE CONTRACT DOCUMENTS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF ALL NEW CONSTRUCTION ON THE SITE.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. SHOULD A DISCREPANCY APPEAR IN THE CONTRACT DOCUMENTS, OR BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS, CODES, ORDINANCES OR INSPECTIONS, NOTIFY THE ARCHITECT AT ONCE FOR INSTRUCTION ON HOW TO PROCEED.

SHOULD A CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, THE SPECIFICATIONS SHALL TAKE PRECEDENCE UNLESS A WRITTEN DECISION FROM THE ARCHITECT HAS BEEN OBTAINED WHICH DESCRIBES A CLARIFICATION OR ALTERNATE METHOD AND/OR MATERIALS.

THE CONTRACTOR SHALL CONFINE HISHER OPERATIONS ON THE SITE TO AREAS PERMITTED BY THE OWNER.

THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION, FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCLUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HISHER WORK SHALL REMOVE ALL TRASH AND DEBRIS AS OF RESULT OF HISHER OPERATION.

ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.

THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HISHER WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATING, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY OTHER PART OF IT. ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.

DIMENSIONS:
 A. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF DRAWINGS.
 B. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE U.N.O.
 C. ALL EXTERIOR STUDS TO BE 2 1/2 U.N.O.
 D. ALL INTERIOR STUDS TO BE 2 1/4 U.N.O.

WALL INSULATION R-22.
 PROVIDE ADDRESS NUMBERS TO BE VISIBLE FROM THE STREET/ROAD/HIGHWAY.

TUB/SHOWER AREA SHALL HAVE A WATER RESISTANT SHEET ROCK TO A HEIGHT OF 70" ABOVE THE DRAIN INLET. TYPE WR (GREEN BOARD) 1/2" C.B.O. #1914. OMIT F FIBERGLASS TUB OR SHOWER IS USED.

DOORS ENTERING LIVING QUARTERS FROM GARAGES MUST BE A MINIMUM 1 3/8 INCH SOLID CORE WOOD OR A 20 MINUTE RATED DOOR, SELF CLOSING.

5/8" TYPE-A GYPSUM WALL BOARD AT GARAGE/DWELLING SEPARATION.

ANY GLAZING WITHIN 18" OF THE FLOOR MUST BE TEMPERED OR SAFETY GLASS.

AN ACCEPTABLE AIR INFILTRATION BARRIER MUST BE APPLIED TO THE OUTSIDE OF THE STRUCTURE OVER THE WALL SHEATHING. IF FELT PAPER IS USED, LAP THE HORIZONTAL JOINTS 2" AND THE VERTICAL JOINTS 7".

EXTERNAL WALL SHEATHING SHALL BE A MINIMUM OF 3/8" CDX PLYWOOD FOR STUD SPACING 16" O.C. OR 1/2" FOR 24" O.C. SPACING. ALL SHEATHING MUST HAVE GRADE STAMPS. NO BLEMISHES OR CULL SHEATHING IS ALLOWED.

PROVIDE WINDOWS FROM A SPECIFIED MANF. ALL GLASS REQUIREMENTS SHALL BE MAINTAINED PER IRC, LOCAL CODES AND REQUIREMENTS.

STANDARDS OF COMPLIANCE AS SPECIFIED IN:
 CURRENT UNIFORM BUILDING CODE
 CURRENT UNIFORM PLUMBING CODE
 CURRENT UNIFORM MECHANICAL CODE
 CURRENT NATIONAL ELECTRIC CODE
 AMERICAN CONCRETE INSTITUTE 318-89

A PORTABLE TOILET MUST BE ON SITE BEFORE CONSTRUCTION STARTS.

BATHROOM EXHAUST TO BE VENTED DIRECTLY OUTSIDE.

CLOTHES DRYER EXHAUST DUCT TO BE VENTED OUTSIDE IN A METAL DUCT LENGTH LIMITED TO 14' WITHOUT DESIGN BY SUPPLIER.

GENERAL FOUNDATION NOTES:
 ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL, AND PLUMBING WITH APPROPRIATE TRADES AND DRAWINGS PRIOR TO THE START OF WORK.

BOTTOM OF ALL FOOTINGS SHALL BEAR ON COMPACTED OR UNDISTURBED SOIL, 3'-0" BELOW THE FROST LINE.

FINISH FLOOR SHALL BE 6" MINIMUM ABOVE ADJACENT GROUND.

A CONTROL JOINT SHALL BE PLACED EVERY 10' IN THE CONCRETE SLAB.

ALL REBAR IN THE FOOTINGS SHALL BE SUSPENDED ABOVE EARTHEN MATERIAL.

CONCRETE STRENGTH 2500 PSI AT 28 DAYS (5 SACK MINIMUM).

FINISH GRADE SHALL SLOPE AT A MINIMUM OF 1" PER 4'.

BOTTOM PLATES SHALL BE TREATED OR FOUNDATIONS REDWOOD. SEE STRUCTURAL PLANS FOR CONNECTIONS.

MINIMUM 6" EARTHWOOD SEPARATION FROM BOTTOM SILL. MINIMUM 12" EARTHWOOD SEPARATION AT GIRDERS AND 18" AT JOISTS.

1/2" AIR SPACE AT ENDS AND SIDES OF BEAMS IN CONC. POCKETS.

VERTICAL AND HORIZONTAL STEEL SHALL BE 18" O.C. FOR ALL FOUNDATION/FROST WALLS.

CRAWL SPACE VENTS TO EQUAL 1/150 MINIMUM 4 VENTS OR MECHANICAL EXCHANGE AS REQUIRED BY CODE.

STANDARDS OF COMPLIANCE AS SPECIFIED IN CURRENT UNIFORM BUILDING CODE AND AMERICAN CONCRETE INSTITUTE 318-89.

IF FURNACE/WATER HEATER IN CRAWL SPACE A PAD OF 3" MINIMUM DEPTH NOT LOWER THAN THE INTERIOR OF THE CRAWL SPACE OR THE EXTERIOR FOOTING SHALL BE PLACED BEFORE THE FURNACE IS INSTALLED IF THE FURNACE CAN BE SUSPENDED FROM THE FLOOR JOIST PROVIDED THAT THERE IS 12" OF CLEARANCE FROM THE BOTTOM OF THE FURNACE TO THE GROUND LEVEL.

FOUNDATION WALLS: R-11

FOUNDATIONS:
 FOOTINGS TO BEAR ON SOLID UNDISTURBED EARTH (ASSUMED SOIL BEARING CAPACITY TO BE 2,000 PSI).
 FOOTINGS SHALL BE PLACED AT A DEPTH TO CONFORM TO LOCAL CODES.

CONCRETE SHALL ATTAIN A MINIMUM 28 DAY STRENGTH FC=2500 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5 SACKS OF CEMENT PER CUBIC YARD.

REINFORCING STEEL SHALL CONFORM TO ASTM SPECIFICATION A6-15-72. GRADE 40 FY = 40,000 PSI DESIGN FB. 16,000 PSI. CONCRETE PROTECTION (COVER) FROM REINFORCING SHALL BE AS FOLLOWS:
 FOOTINGS AND OTHER UNFORMED SURFACES, EARTH SURFACES - 3"
 FORMED SURFACES IN DIRECT CONTACT WITH EARTH - 2"
 SURFACES EXPOSED TO WEATHER - 1 1/2"
 SLABS AND WALLS (INTERIOR FACE) - 1"

REINFORCEMENT SHALL BE ACCURATELY PLACED AND ADEQUATELY SUPPORTED BY CONCRETE, METAL OR OTHER APPROVED CHAIRS, SPACERS OR TIES AND SECURED AGAINST DISPLACEMENT DURING CONCRETE OR GROUT PLACEMENT. TACK WELDING NOT ALLOWED EXCEPT WHERE SHOWN OTHERWISE ON STRUCTURAL DRAWINGS.

CONCRETE REINFORCEMENT SHALL HAVE CONCRETE COVER AS FOLLOWS:
 CONCRETE DEPOSITED AGAINST EARTH - 2"
 FORMED CONCRETE AGAINST EARTH - 2"
 EXTERIOR FACES OF WALLS - 2"
 INTERIOR FACES OF WALLS - 1 1/2"
 TO TOP OF SLABS-ON-GRADE - 1"

VAPOR BARRIERS / GROUND COVERS:
 AN APPROVED VAPOR BARRIER SHALL BE PROPERLY INSTALLED IN ROOF DECKS AND IN ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDES OF THE ROOF RAFTERS AND AT EXTERIOR WALLS.

A GROUND COVER OF 6 MIL (0.006") POLYETHYLENE OR EQUIVALENT SHALL BE LAY OVER THE GROUND IN ALL CRAWL SPACES. THE GROUND COVER SHALL BE OVERLAPPED ONE FOOT AT EACH JOINT AND SHALL EXTEND TO THE FOUNDATION WALL. W5EC SECTION 502.1.6.7.

FOOTINGS - TWO STORIES:
 16" WIDE, 8" THICK, TWO CONTINUOUS ROWS OF #4 REINFORCING STEEL REQUIRED. THIS STEEL IS TO BE SUSPENDED 7" ABOVE THE EARTH AT THE TIME THE CONCRETE IS POURED. SUSPENSION POINTS MUST BE 48" ON THE CENTER. FOOTINGS MUST BE AT LEAST 36-INCHES BELOW FINISHED GRADE.
 NOTE: SHOULD UNSTABLE SOIL BE DISCOVERED, A BETTER FOOTING AND AN ENGINEER'S SOIL REPORT (FOUNDATION ANALYSIS) MAY BE REQUIRED.

STEM WALLS - TWO STORIES:
 #4 THICK STEEL #4 REINFORCING STEEL, 18" O.C. IN BOTH DIRECTIONS. THERE MUST BE A LATERAL ROW OF REINFORCING STEEL WITHIN 8" OF THE TOP OF THE FOUNDATION WALL WHICH SHALL BE AT LEAST 6" ABOVE FINISHED GRADE.

ANY FOUNDATION WALL WHICH ENCLOSES HABITABLE SPACE SHALL BE DAMP PROOFED. THIS SHALL BE INSTALLED BEFORE BACK FILLING. ALL FOUNDATION WALLS THAT ENCLOSE HABITABLE SPACE MUST HAVE R-19 INSULATION ON THEM.

ANCHOR BOLTS SHALL BE 5/8"x10" WITH 7" EMBEDDED INTO THE FOUNDATION WALL. ANCHOR BOLTS SHALL NOT BE FURTHER THAN 12" FROM THE CORNERS EACH WAY AND MAY NOT EXCEED 3/2" THEREAFTER. TOW BOLSTERS REQUIRED FOR EACH PIECE OF PLATE STOCK.

THE CRAWL SPACE SHALL HAVE R-11 INSULATION DRAPED ON THE FOUNDATION WALL OR INSTEAD AN ICF WALL SYSTEM.

THERE MUST BE A MINIMUM OF 18" OF CLEAR SPACE BETWEEN THE BOTTOM OF THE FLOOR JOISTS AND THE GROUND. A MINIMUM 12" OF CLEAR SPACE BETWEEN THE GRINDER AND THE GROUND. IF THESE CLEARANCES CANNOT BE MET, WOOD WHICH IS PRESSURE TREATED OR WOOD OR A MATERIAL RESISTIVE TO DECAY MUST BE USED FOR JOISTS, GIRDERS AND SUB FLOOR.

THE CRAWL SPACE GENERALLY REQUIRES VENTING OF ONE SQUARE FOOT FOR EACH 150 SQUARE FEET OF BUILDING FLOOR SPACE (GROUND LEVEL FLOOR).
 NOTE: THIS AREA MAY BE REDUCED THROUGH ALTERNATE CONSTRUCTION METHODS. REFER TO THE BUILDING DEPARTMENT OR MECHANICAL CODE.

ANY THICKENED PORTION IN THE FLOOR SLAB FOR BEARING WALLS SHALL BE 8" THICK WITH A WIDTH OF 16". THIS REQUIRES TWO ROWS OF CONTINUOUS #4 REINFORCING STEEL.

WINDOW AND DOOR OPENINGS IN CONCRETE FOUNDATION WALLS SHALL HAVE TWO PARALLEL CONTINUOUS ROWS OF #4 REINFORCING STEEL AROUND THE OPENING. THESE BARS MUST HAVE 1/2" OF CONCRETE COVER. THE TWO TOP PARALLEL BARS MUST BE EXTENDED 24" PAST THE OPENING.

STEPS IN FOOTINGS 24" OR LESS IN HEIGHT SHALL BE CONTINUOUS.

COLD WEATHER REQUIREMENTS FOR CONCRETE SHALL BE PROVIDED FOR HEATING CONCRETE MATERIALS AND PROTECTING CONCRETE DURING FREEZING OR NEAR FREEZING WEATHER. ALL CONCRETE MATERIALS AND ALL REINFORCEMENT FORMS, FILLERS AND GROUND WITH WHICH THE CONCRETE IS TO BE IN CONTACT SHALL BE FREE OF FROST, FROZEN MATERIALS OR MATERIAL CONTAINING ICE SHALL NOT BE USED.

ALL SONA TUBES SHALL EXTEND 36" BELOW THE FINISHED GRADE AND MUST BE ON CASES OR FOOTINGS LARGE ENOUGH TO SUPPORT THE INTENDED STRUCTURE. WHEN PRESSURE TREATED STOCK IS NOT USED SONA TUBES MUST EXTEND 6" ABOVE FINISHED GRADE. IF PRESSURE TREATED COLUMNS OR REDWOOD IS USED, THE CONCRETE NEED NOT PROJECT ABOVE GRADE. SADDLES (OR BETTER) SHALL BE USED IN ALL SONA TUBES FOR CONNECTING THE COLUMN.

GOOD CONSTRUCTION PRACTICE FOR CONCRETE SLABS REQUIRES A CONTROL JOINT EVERY 20 FEET IN EACH DIRECTION.

PLUMBING NOTES:
 STANDARD OF COMPLIANCE AS IN CURRENT UNIFORM PLUMBING CODE.
 ALL LINE SIZES AND LOCATIONS SUBJECT TO PLUMBERS APPROVAL.
 ALL PLUMBING WORK TO BE COMPLETED BY A LICENSED PLUMBER.
 WATER CLOSETS TO BE A MINIMUM OF 1'-3" FROM ANY VERTICAL SLIDE SURFACES TO THE CENTERLINE OF THE WATER CLOSET.
 ALL ABS OR PVC USED IN DRAIN LINES, WASTE LINES AND VENT LINES WILL BE SCHEDULED 40 OR BETTER.
 COPPER TUBING USED IN WATER PIPING SHALL BE TYPE M MINIMUM WEIGHT IN THE BUILDING ABOVE SLABS AND SHALL BE TYPE L MINIMUM WEIGHT IN WATER PIPING INSTALLED BELOW SLABS (INSTALLED WITHOUT JOISTS).
 PROVIDE HOSE BIBS PER PLANS.

Montana Creative
 architecture + design

MONTANA CREATIVE
 ARCHITECTURE + DESIGN
 158 RAILWAY ST.
 WHITEFISH, MT 59937
 406.862.8152
 FAX# 406.862.8153

SORENSEN RESIDENCE

GRANITE HILL
 KALISPELL, MT 59901

A0.T

TITLE SHEET

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect in the State of Montana, practicing in Whitefish, Montana.

Reg. No. 2832
 AARON J.
17-26
 Date: 9/25/17

THESE PLANS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF MONTANA CREATIVE ARCHITECTURE AND DESIGN. ANY REPRODUCTION OR REUSE OF THESE DOCUMENTS IS FORBIDDEN WITHOUT WRITTEN PERMISSION FROM MONTANA CREATIVE ARCHITECTURE AND DESIGN.

Project Number: 17-26
 Date: 9/25/17
 Drawn By: JKR
 Checked By: RJN
 Revisions:

REVISION SCHEDULE

#	DESCRIPTION	DATE

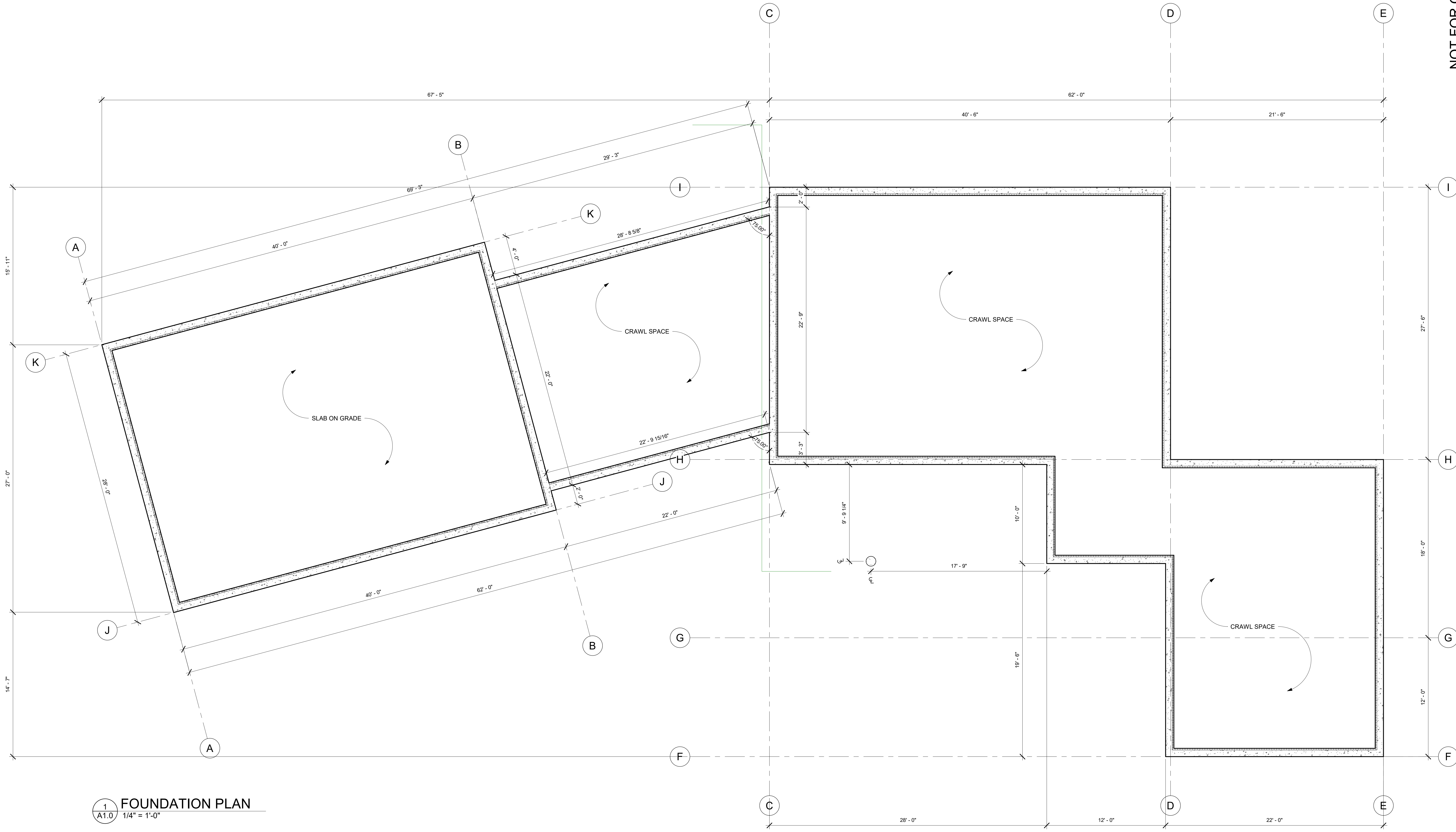


SORENSEN RESIDENCE
 GRANITE HILL
 KALISPELL, MT 59901

A1.0

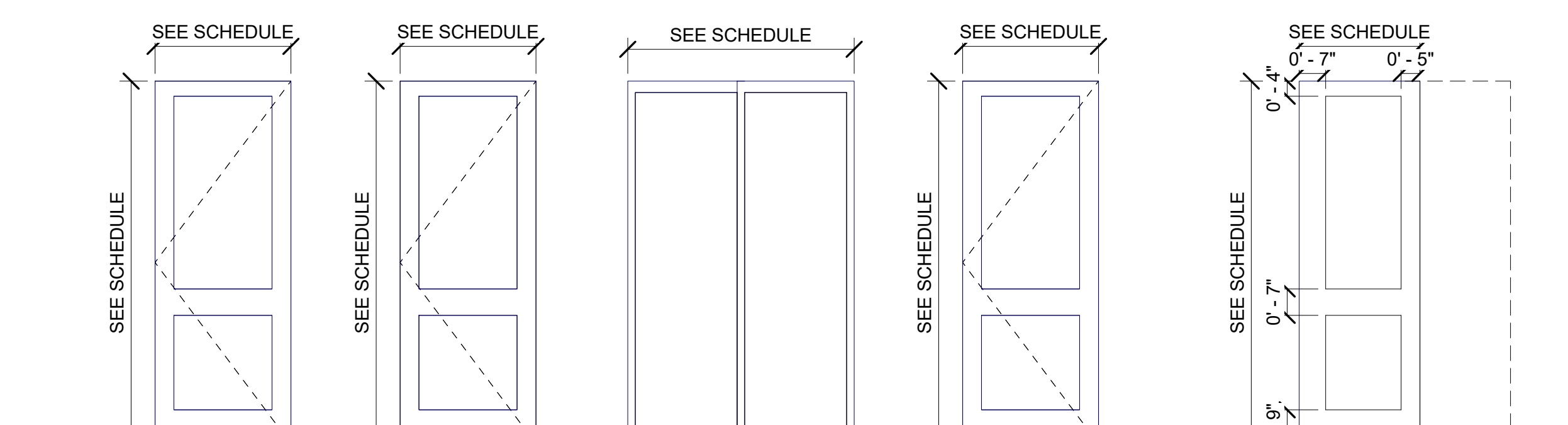
NOT FOR CONSTRUCTION

FOUNDATION PLAN



1 FOUNDATION PLAN
 A1.0 1/4" = 1'-0"

FOUNDATION PLAN FOR STAKING PURPOSES ONLY.



FINISH FLOOR

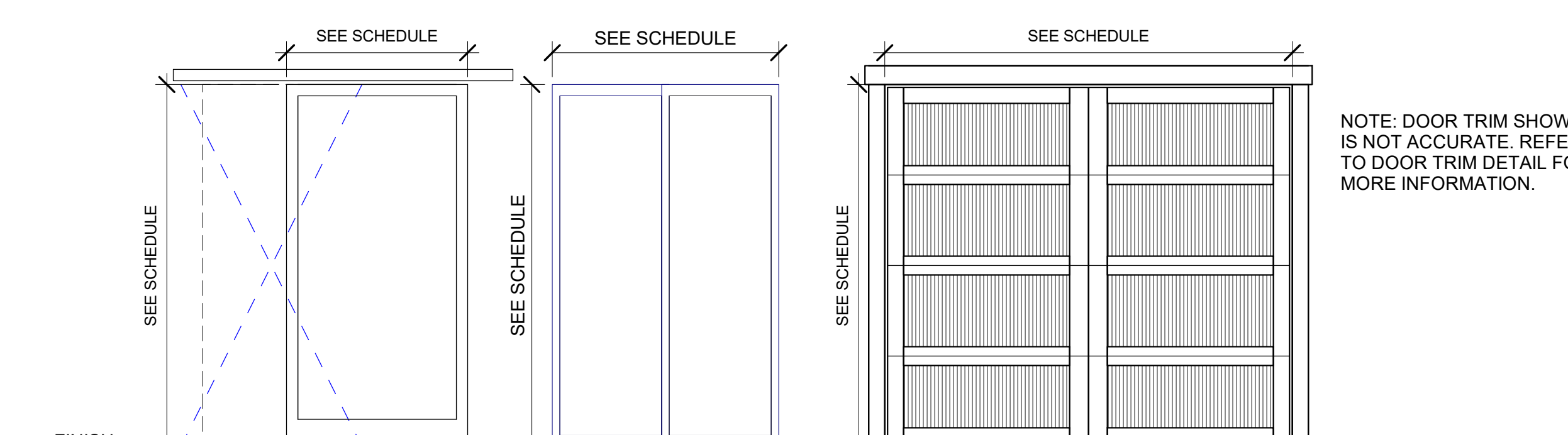
D1 EXTERIOR DOOR INSULATED FIBERGLASS, HALF-LIGHT OWNER SELECTED

D2 EXTERIOR DOOR INSULATED FIBERGLASS, OWNER SELECTED

D3 EXTERIOR SLIDING GLASS DOOR - OWNER SELECTED

D4 INTERIOR DOOR SOLID WOOD - OWNER SELECTED

D5 POCKET DOOR SOLID WOOD - OWNER SELECTED



FINISH FLOOR

D6 INTERIOR BARN DOOR SOLID WOOD - OWNER SELECTED

D7 INTERIOR CLOSET DOOR - OWNER SELECTED

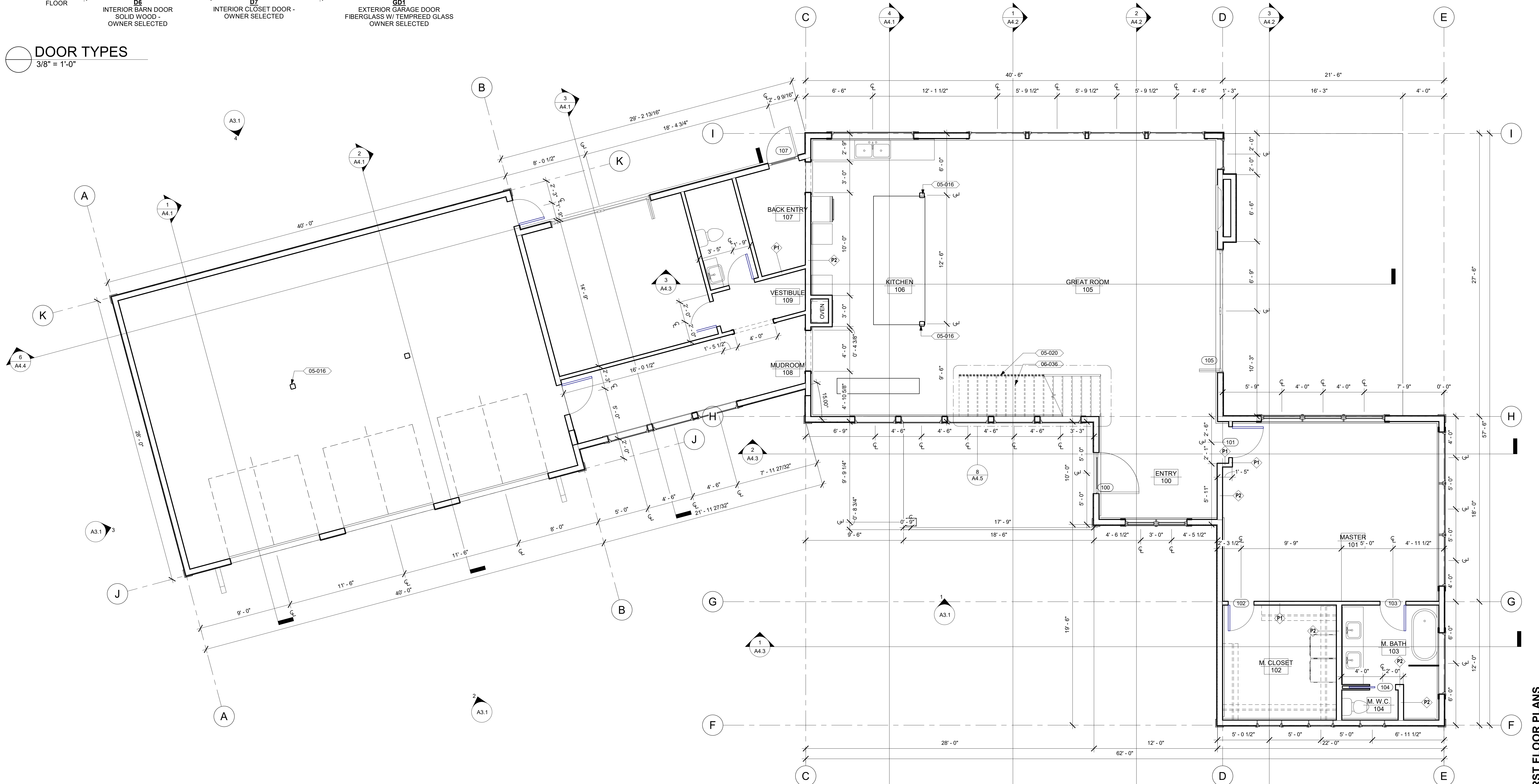
GD1 EXTERIOR GARAGE DOOR FIBERGLASS W/ TEMPREED GLASS OWNER SELECTED

NOTE: DOOR TRIM SHOWN IS NOT ACCURATE. REFER TO DOOR TRIM DETAIL FOR MORE INFORMATION.

DOOR SCHEDULE									
MARK	TYPE	WIDTH	HEIGHT	MATERIAL	FRAME TYPE	FRAME DEPTH	HEAD, JAMB, & SILL DETAILS	FIRE RATING	COMMENTS
100	D1	4'-0"	8'-0"	WD/GLASS	WD	6 1/2"			
101	D4	3'-0"	8'-0"	WD	WD	4 1/2"			
102	D4	2'-6"	8'-0"	WD	WD	4 1/2"			
103	D4	2'-6"	8'-0"	WD	WD	4 1/2"			
104	D5	2'-6"	8'-0"	WD	WD	6 1/2"			
105	D3	12'-0"	8'-0"	WD	WD	6 1/2"			
107	D1	3'-0"	8'-0"	WD/GLASS	WD	6 1/2"			
109	D2	3'-0"	8'-0"	WD	WD	6 1/2"		20 MIN	
111	D4	2'-6"	8'-0"	WD	WD	4 1/2"			
112A	D4	2'-6"	8'-0"	WD	WD	4 1/2"			
112B	D3	10'-0"	8'-0"	WD	WD	6 1/2"			
113	D2	2'-6"	8'-0"	WD	WD	6 1/2"			
113A	GD1	9'-0"	8'-0"	FIBERGLASS	METAL	6 1/2"			
113B	GD1	9'-0"	8'-0"	FIBERGLASS	METAL	6 1/2"			
113C	GD1	9'-0"	8'-0"	FIBERGLASS	METAL	6 1/2"			
201	D6	4'-0"	8'-0"	WD	WD	6 1/2"			
202	D5	3'-6"	6'-8"	WD	WD	6 1/2"			
203	D4	2'-6"	8'-0"	WD	WD	4 1/2"			
204	D7	7'-0"	6'-8"	WD	WD	6 1/2"			
205	D4	2'-6"	8'-0"	WD	WD	4 1/2"			
206	D7	7'-0"	6'-8"	WD	WD	4 1/2"			
207	D4	2'-8"	6'-8"	WD	WD	4 1/2"			
208	D7	5'-0"	6'-8"	WD	WD	4 1/2"			
209	D4	2'-8"	6'-8"	WD	WD	4 1/2"			
210	D7	5'-0"	6'-8"	WD	WD	4 1/2"			
211	D4	2'-8"	6'-8"	WD	WD	4 1/2"			
212	D4	2'-8"	6'-8"	WD	WD	4 1/2"			
213	D4	2'-8"	6'-8"	WD	WD	4 1/2"			

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
05-016	TUBE STEEL COLUMN - SEE STRUCT.
05-020	RAILING - SEE DETAIL
06-036	WOOD STAIRS W/ 2X WOOD FRAMING PER STRUCTURAL, WOOD TREADS AND RISERS TO MATCH FLOORING, ROUNDED EDGE, 3/4" WOOD T&G ON 2X FRAMING

DOOR TYPES
3/8" = 1'-0"



1 FIRST FLOOR PLAN
1/4" = 1'-0"

NOT FOR CONSTRUCTION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional architect in the State of Montana, practicing in Whitefish, Montana.

Reg. No. 2932
AARON J.

17-26
Date: 9/25/17

THESE PLANS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF MONTANA CREATIVE ARCHITECTURE AND DESIGN. ANY REPRODUCTION OR REUSE OF THESE DOCUMENTS IS FORBIDDEN WITHOUT WRITTEN PERMISSION FROM MONTANA CREATIVE ARCHITECTURE AND DESIGN.

Project Number: 17-26
Date: 9/25/17
Drawn By: JKR
Checked By: RJN
Revisions:

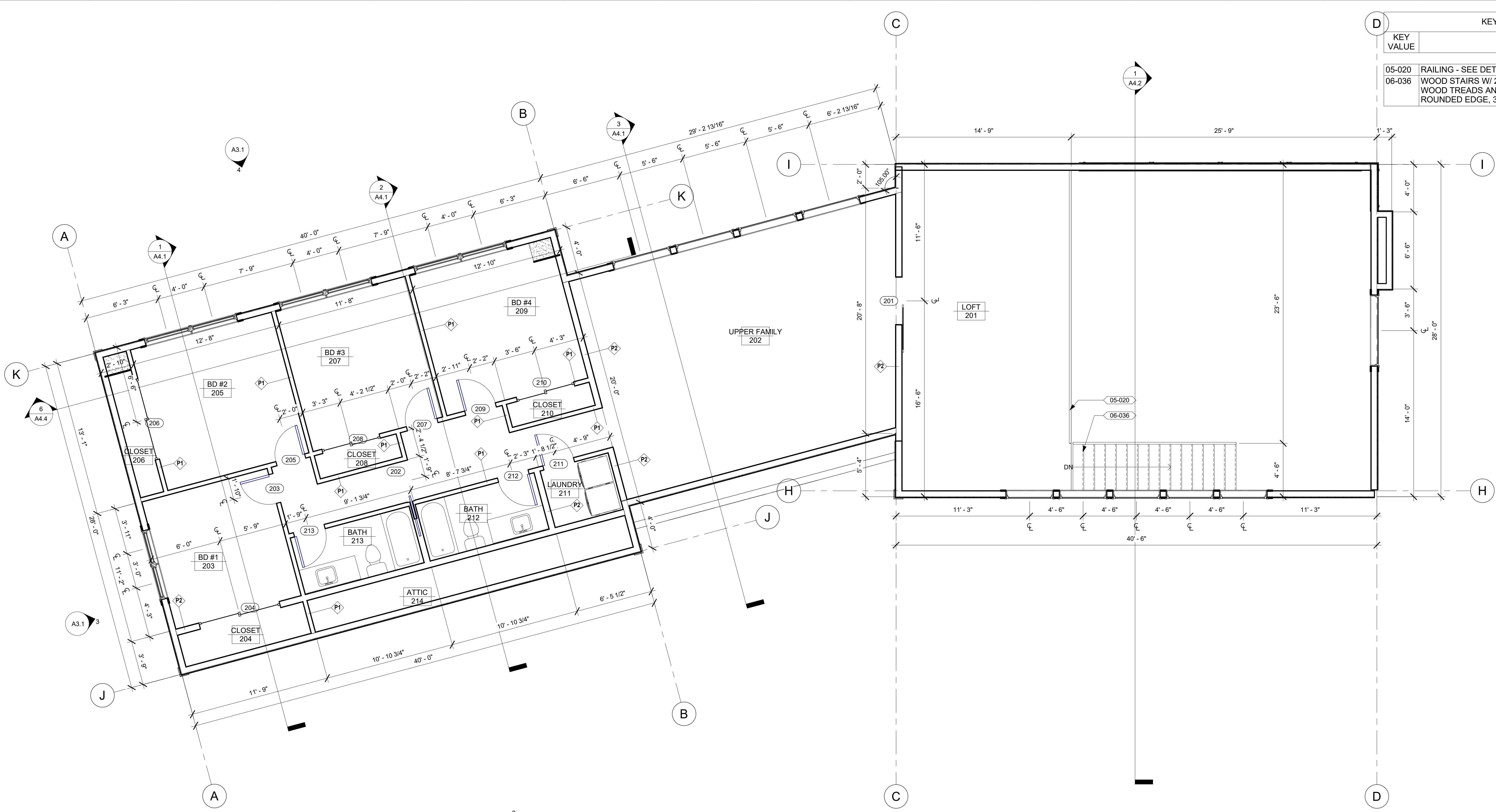
REVISION SCHEDULE	
#	DESCRIPTION

Montana Creative
architecture + design

MONTANA CREATIVE
ARCHITECTURE
+ DESIGN
158 RAILWAY ST.
WHITEFISH, MT 59937
406.662.6152

SORENSEN RESIDENCE

GRANITE HILL
KALISPELL, MT 59901



1
A2.2
1/4" = 1'-0"

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
05-020	RAILING - SEE DETAIL
06-036	WOOD STAIRS W/ 2X WOOD FRAMING PER STRUCTURAL. WOOD TREADS AND RISERS TO MATCH FLOORING. ROUNDED EDGE, 3/4" WOOD T&G ON 2X FRAMING

NOT FOR CONSTRUCTION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect in the State of Montana, practicing in Whitefish, Montana.

17-26
Date: 9/25/17
Reg. No. 2932
AARON J.

THESE PLANS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF MONTANA CREATIVE ARCHITECTURE AND DESIGN. ANY REPRODUCTION OR REUSE OF THESE DOCUMENTS IS FORBIDDEN WITHOUT WRITTEN PERMISSION FROM MONTANA CREATIVE ARCHITECTURE AND DESIGN.

Project Number: 17-26
Date: 9/25/17
Drawn By: JKR
Checked By: RJN
Revisions:

#	DESCRIPTION	DATE

Montana Creative
architecture + design

MONTANA CREATIVE ARCHITECTURE + DESIGN
158 RAILWAY ST.
WHITEFISH, MT 59937
406.662.8152

- GENERAL NOTES:**
- TYPICAL DOOR JAMB OFFSET IS 4" FROM FINISHED FACE OF ADJACENT WALL
 - ALL FLOOR FINISHES TO BE REVIEWED BY CONTRACTOR
 - ALL WALL FINISHES ARE TO BE REVIEWED BY CONTRACTOR
 - PROVIDE ESCUTCHEON PLATES AT ALL KITCHEN AND BATH PIPE PENETRATIONS
 - INSTALL FIRE BLOCKING IN ACCORDANCE WITH THE BUILDING CODE, FOR EXAMPLE:
 - A.) CONCEALED STUD WALLS & PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING & FLOOR LEVELS AND AT 10 FT. INTERVALS BOTH VERTICAL AND HORIZONTAL.
 - B.) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES. (SOFFITS, DROPPED CEILINGS, COVE CEILINGS, ETC.)
 - C.) IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, AND SIMILAR OPENINGS.
 - TERMINATE GYP BD. TO DISSIMILAR MATERIALS WITH GYP. BD. CASING BEAD AND SEALANT
 - ALL VERTICAL WALL EDGES WILL RECEIVE A SQUARE CORNER
 - SEALANT AT ALL DISSIMILAR MATERIALS. MATCH BASE MATERIAL COLOR
 - ALL SILL PLATES ON CONCRETE WILL BE PRESSURE TREATED
 - SEE DETAILS FOR PARTITION TYPES
 - SEE STRUCTURAL DRAWINGS TO COORDINATE ALL FOUNDATION/FOOTING AND BEARING WALL DIMENSIONS.
 - ALL DIMENSIONS ARE TO FACE OF STUD

SECOND FLOOR PLANS

SORENSEN RESIDENCE

GRANITE HILL
KALISPELL, MT 59901

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
05-005	STANDING-SEAM METAL ROOFING, COLOR TBD BY CONTRACTOR - INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
05-010	RIDGE VENT
07-025	PREFINISHED METAL GUTTER WITH DOWNSPOUTS, STYLE AND COLOR TBD BY CONTRACTOR

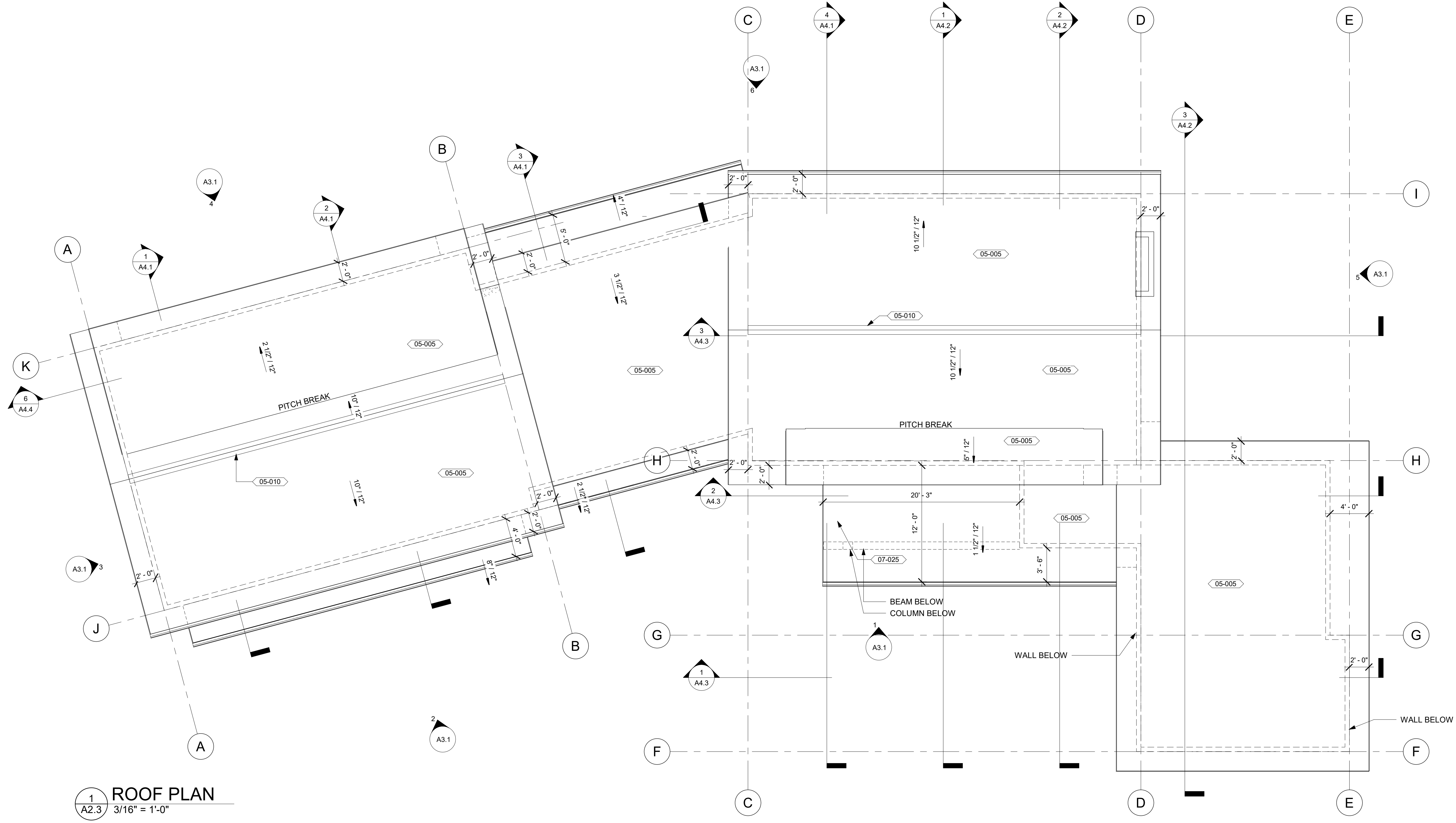
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect in the State of Montana, practicing in Whitefish, Montana.

17-26
Date: 9/25/17
Reg. No. 2632
AARON J.

THESE PLANS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF MONTANA CREATIVE ARCHITECTURE AND DESIGN. ANY REPRODUCTION OR REUSE OF THESE DOCUMENTS IS FORBIDDEN WITHOUT WRITTEN PERMISSION FROM MONTANA CREATIVE ARCHITECTURE AND DESIGN.

Project Number: 17-26
Date: 9/25/17
Drawn By: JKR
Checked By: RJN
Revisions:

#	DESCRIPTION	DATE



1 ROOF PLAN
A2.3 3/16" = 1'-0"

NOT FOR CONSTRUCTION

ROOF PLAN

Montana Creative
architecture + design

MONTANA CREATIVE ARCHITECTURE + DESIGN
158 RAILWAY ST.
WHITEFISH, MT 59937
406.662.8152

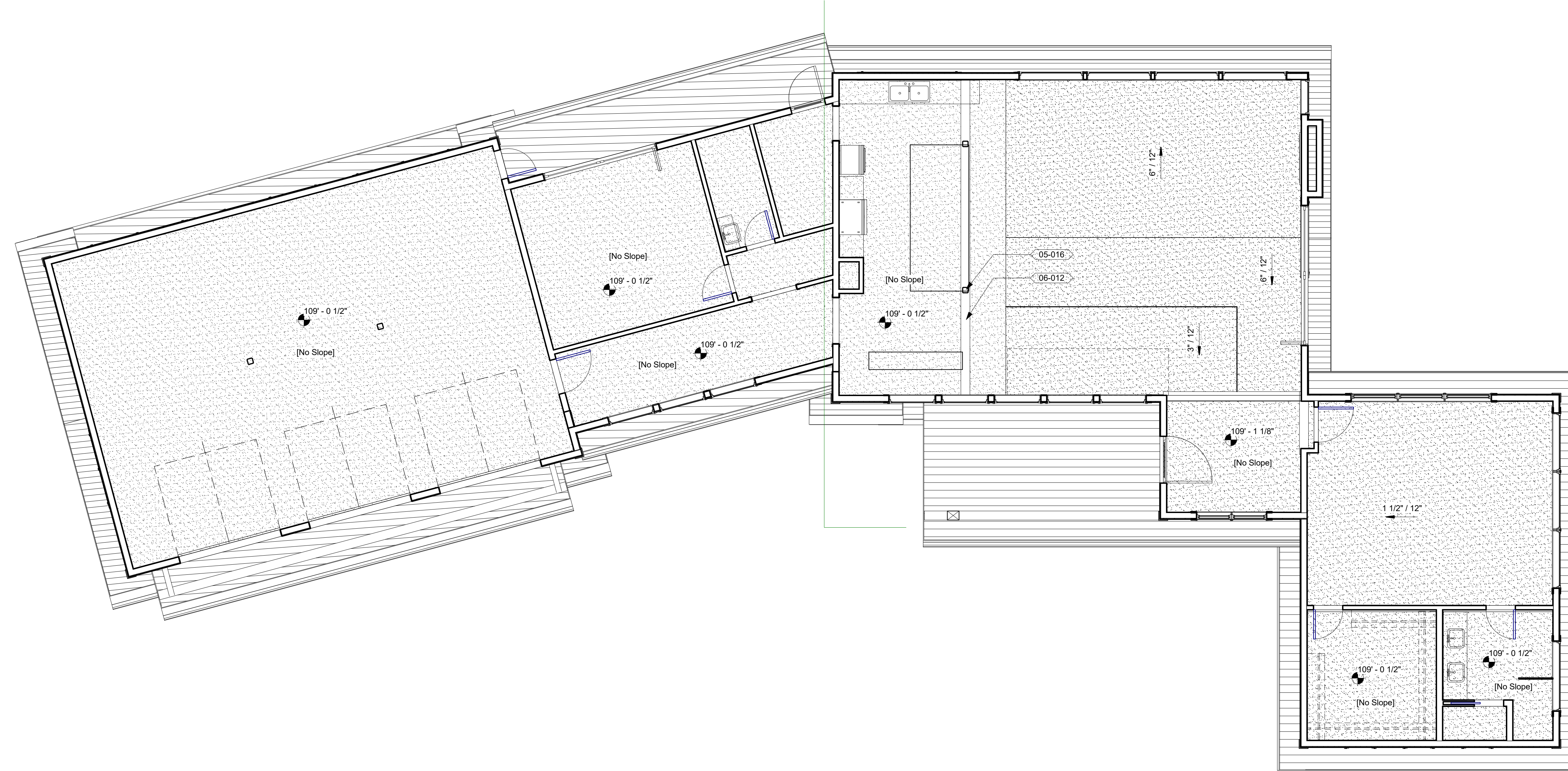
SORENSEN RESIDENCE

GRANITE HILL
KALISPELL, MT 59901

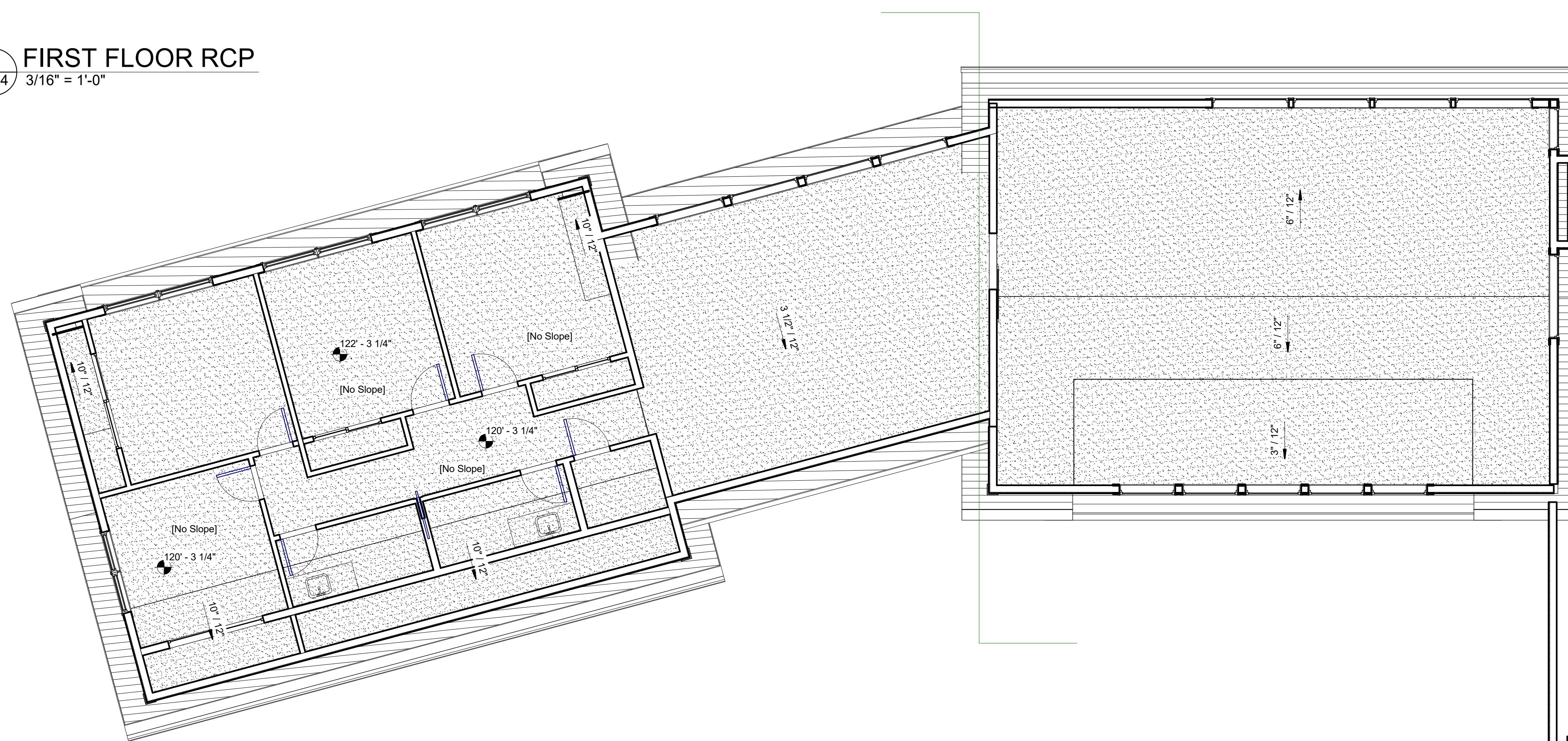
A2.3

R.C.P. LEGEND			
		NOTE: CONTRACTOR TO VERIFY FIXTURE LOCATIONS AND QUANTITY. FINAL LIGHTING PLAN TBD BY OWNER	

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
05-016	TUBE STEEL COLUMN - SEE STRUCT.
06-012	WOOD WINDOW SILL, INTERIOR - SEE DETAIL ON SHEET A6.1



1 FIRST FLOOR RCP
A2.4 3/16" = 1'-0"



2 SECOND FLOOR RCP
A2.4 3/16" = 1'-0"

NOT FOR CONSTRUCTION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional architect in the State of Montana, practicing in Whitefish, Montana.
 Reg. No. 2832
 AARON J.
 17-26
 Date: 9/25/17

THESE PLANS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF MONTANA CREATIVE ARCHITECTURE AND DESIGN. ANY REPRODUCTION OR REUSE OF THESE DOCUMENTS IS FORBIDDEN WITHOUT WRITTEN PERMISSION FROM MONTANA CREATIVE ARCHITECTURE AND DESIGN.

Project Number: 17-26
 Date: 9/25/17
 Drawn By: JKR
 Checked By: RJN
 Revisions:

REVISION SCHEDULE

#	DESCRIPTION	DATE

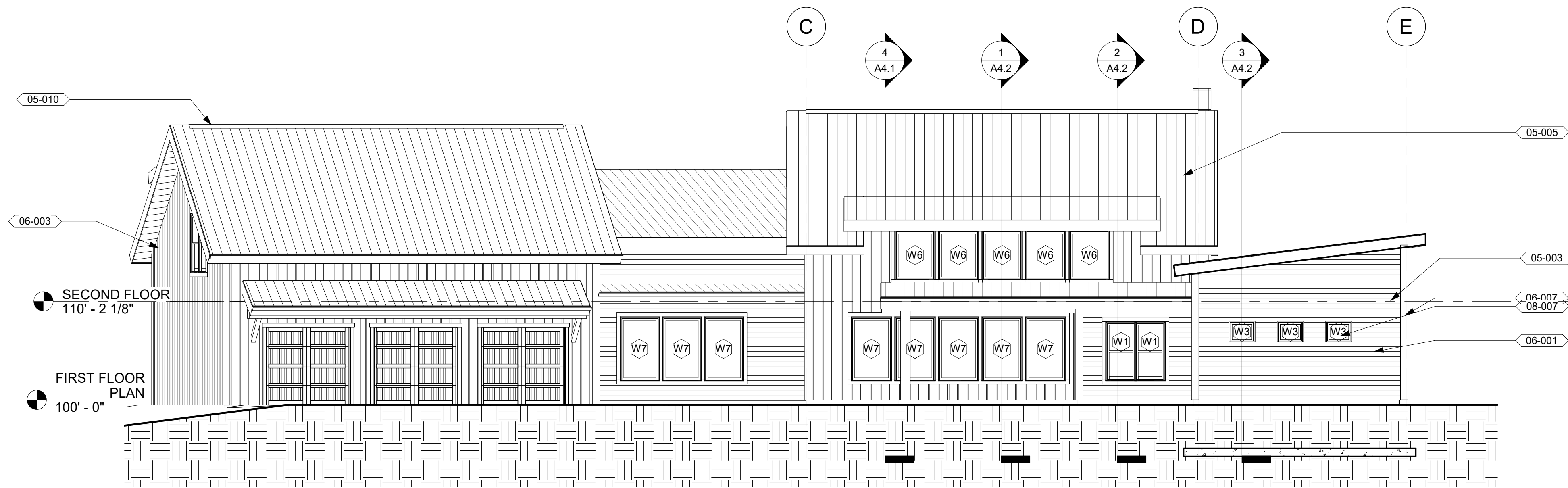
Montana Creative
 architecture + design

MONTANA CREATIVE ARCHITECTURE + DESIGN
 158 RAILWAY ST.
 WHITEFISH, MT 59937
 406.862.8152

REFLECTED CEILING PLANS

SORENSEN RESIDENCE

GRANITE HILL
 KALISPELL, MT 59901



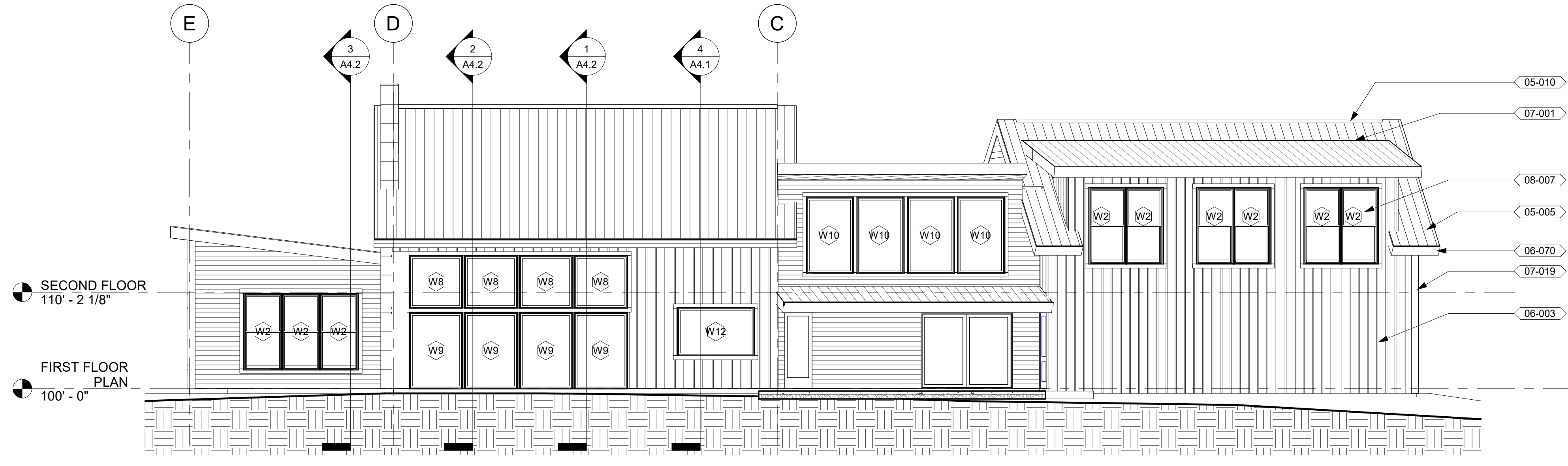
1 SOUTH BUILDING ELEVATION
A3.1 1/8" = 1'-0"



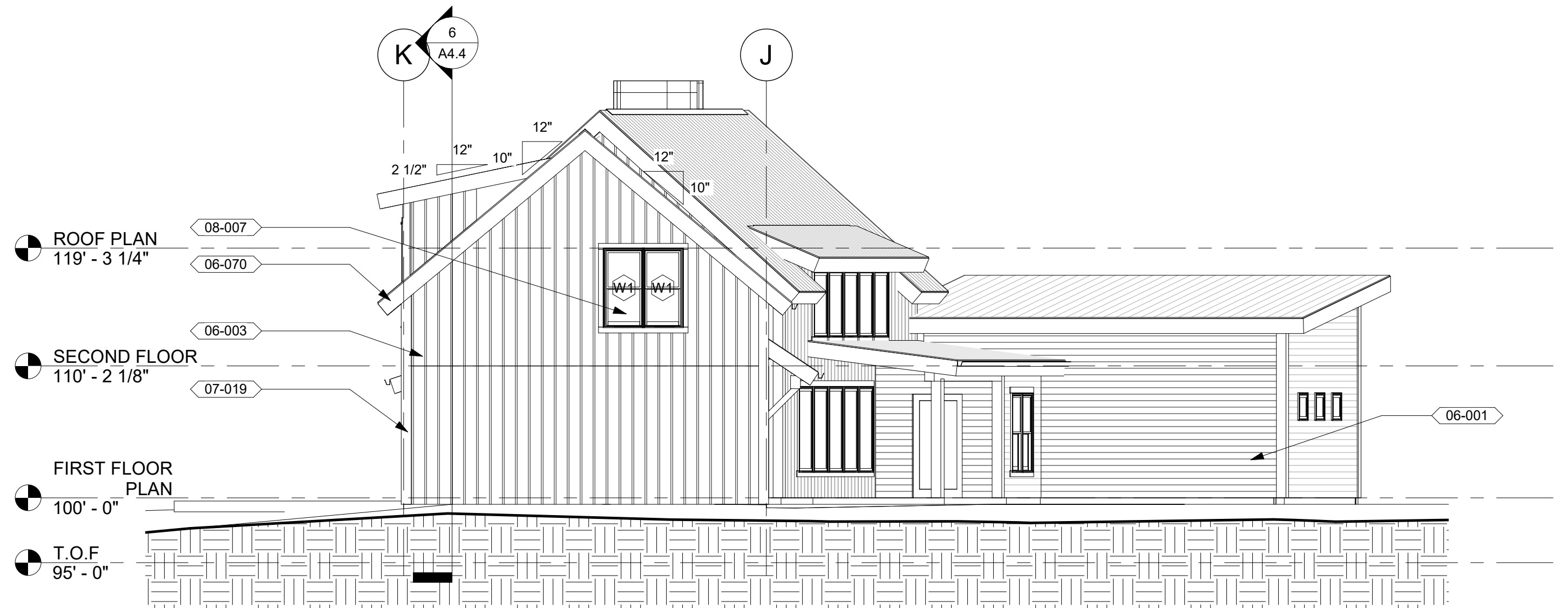
2 GARAGE SOUTH ELEVATION
A3.1 1/8" = 1'-0"



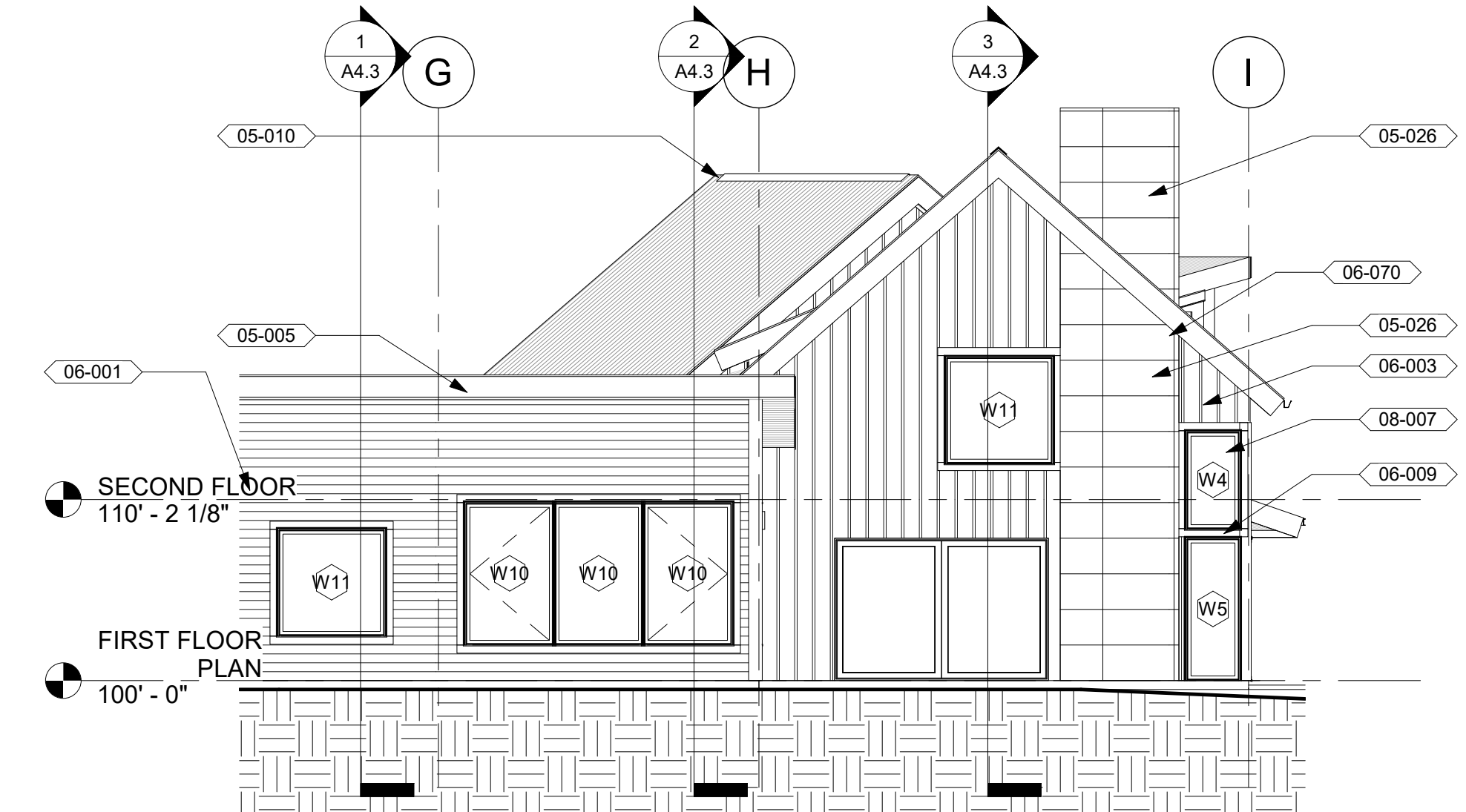
4 GARAGE NORTH ELEVATION
A3.1 1/8" = 1'-0"



6 NORTH BUILDING ELEVATION
A3.1 1/8" = 1'-0"



3 GARAGE WEST ELEVATION
A3.1 1/8" = 1'-0"



5 EAST BUILDING ELEVATION
A3.1 1/8" = 1'-0"

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
05-003	SPARK ARRESTOR W/ RAINCAP
05-005	STANDING-SEAM METAL ROOFING, COLOR TBD BY CONTRACTOR, - INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
05-010	RIDGE VENT
05-026	METAL PANEL SIDING, TBD BY OWNER
06-001	PREFINISHED FIBER CEMENT SIDING - LAP, 7" T.W. COLOR TBD BY CONTRACTOR
06-003	PREFINISHED FIBER CEMENT SIDING BOARD & CEDAR BATTON, 1X4 BATTONS @ 12" O.C., COLOR TBD BY CONTRACTOR
06-004	WOOD COLUMN - 10x12, SEE STRUCT. FOR CONNECTIONS, STAIN TBD BY CONTRACTOR
06-007	CEDAR TRIM BOARD - 5/4"x6"
06-009	WOOD WINDOW TRIM - SEE DETAIL
06-070	TWO STEP FASCIA W/VENTING & PREFINISHED METAL DRIP FLASHING - SEE DETAILS
07-001	PREFINISHED METAL FLASHING, RUN UP WALL 4" MIN., SEALANT ALL AROUND, OVERLAP BUILDING WRAP OVER FACE, TYP AT ALL INTERSECTIONS
07-019	2X6 CORNER BOARDS - WOOD
07-025	PREFINISHED METAL GUTTER WITH DOWNSPOUTS, STYLE AND COLOR TBD BY CONTRACTOR
08-007	VINYL WINDOW, CONTRACTOR TO SELECT MODEL, COLOR, AND OPERATION

WINDOW SCHEDULE							
COUNT	MARK	WIDTH	HEIGHT	HEAD HEIGHT	LEVEL	OPERATION	COMMENTS
2	W1	3'-0"	6'-0"	8'-0"	FIRST FLOOR PLAN	DOUBLE HUNG	MULLED TOGETHER
2	W1	3'-0"	6'-0"	9'-0"	SECOND FLOOR	DOUBLE HUNG	MULLED TOGETHER
3	W2	4'-0"	8'-0"	10'-0"	FIRST FLOOR PLAN	DOUBLE HUNG	MULLED TOGETHER
6	W2	4'-0"	8'-0"	11'-0"	SECOND FLOOR	DOUBLE HUNG	(X2) MULLED TOGETHER
3	W3	2'-6"	2'-0"	8'-0"	FIRST FLOOR PLAN	FIXED	
1	W4	3'-0"	5'-6"	14'-0"	FIRST FLOOR PLAN	FIXED	
1	W5	3'-0"	8'-0"	8'-0"	FIRST FLOOR PLAN	FIXED	
5	W6	4'-0"	5'-0"	7'-3"	SECOND FLOOR PLAN	FIXED	MULLED TOGETHER
8	W7	4'-0"	6'-6"	8'-6"	FIRST FLOOR PLAN	FIXED	SEE ELEVATIONS FOR MULLED
4	W8	5'-6"	5'-6"	14'-0"	FIRST FLOOR PLAN	FIXED	MULLED TOGETHER
4	W9	5'-6"	8'-0"	8'-0"	FIRST FLOOR PLAN	FIXED	MULLED TOGETHER
3	W10	5'-0"	8'-0"	10'-0"	FIRST FLOOR PLAN	FIXED	MULLED TOGETHER
4	W10	5'-0"	8'-0"	10'-0"	SECOND FLOOR	FIXED	MULLED TOGETHER
1	W11	6'-0"	6'-0"	8'-6"	FIRST FLOOR PLAN	FIXED	
1	W11	6'-0"	6'-0"	8'-0"	SECOND FLOOR	FIXED	
1	W12	8'-0"	5'-0"	8'-6"	FIRST FLOOR PLAN	FIXED	

NOT FOR CONSTRUCTION

#	DESCRIPTION	DATE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect in the State of Montana, practicing in Whitefish, Montana.

17-26
Date: 9/25/17
Reg. No. 2832
AARON J.

THESE PLANS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF MONTANA CREATIVE ARCHITECTURE AND DESIGN. ANY REPRODUCTION OR REUSE OF THESE DOCUMENTS IS FORBIDDEN WITHOUT WRITTEN PERMISSION FROM MONTANA CREATIVE ARCHITECTURE AND DESIGN.

Project Number: 17-26
Date: 9/25/17
Drawn By: JKR
Checked By: RJN
Revisions:

Montana Creative
architecture + design

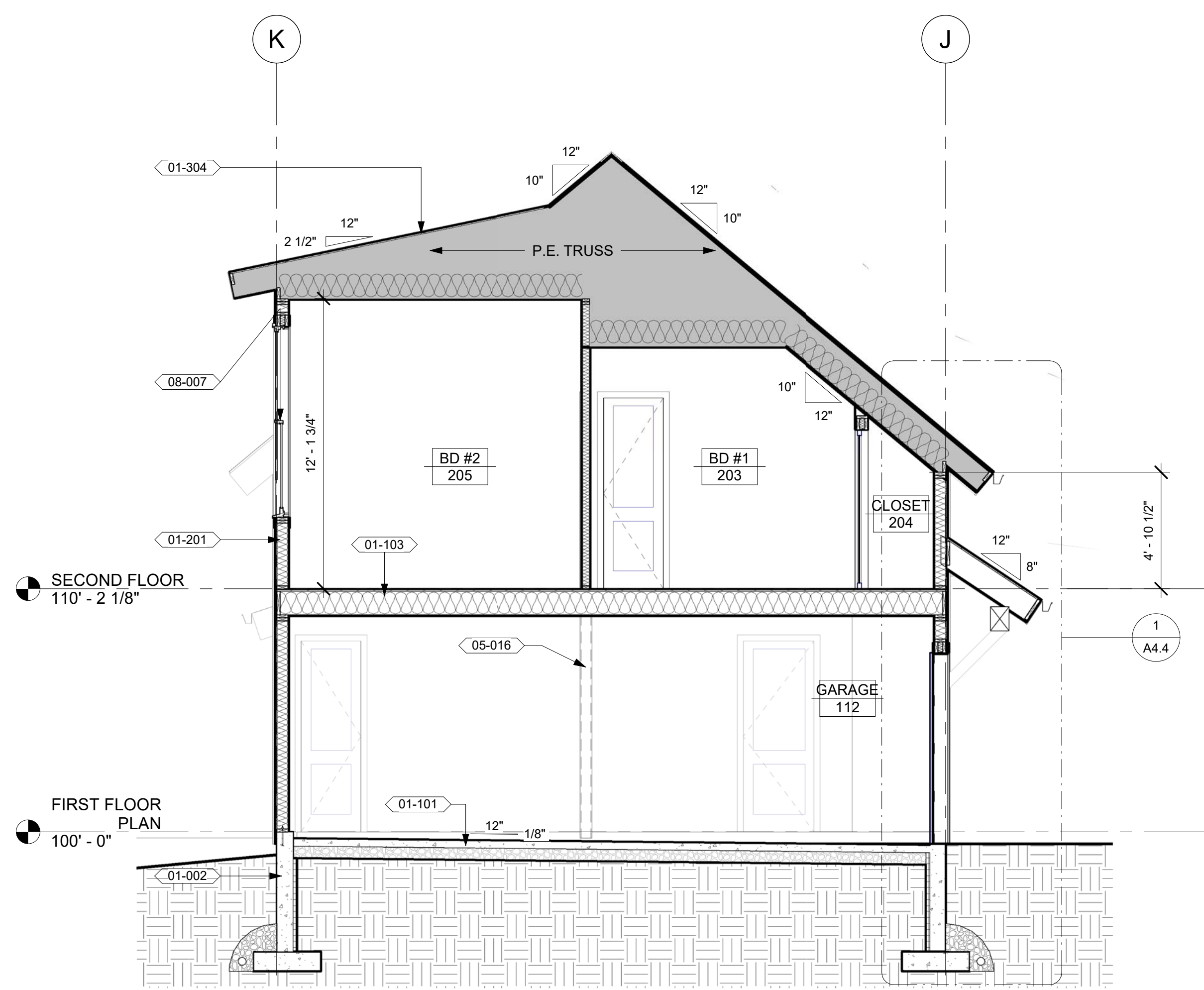
MONTANA CREATIVE
ARCHITECTURE
+ DESIGN
158 RAILWAY ST.
WHITEFISH, MT 59937
406.862.8157

BUILDING ELEVATIONS

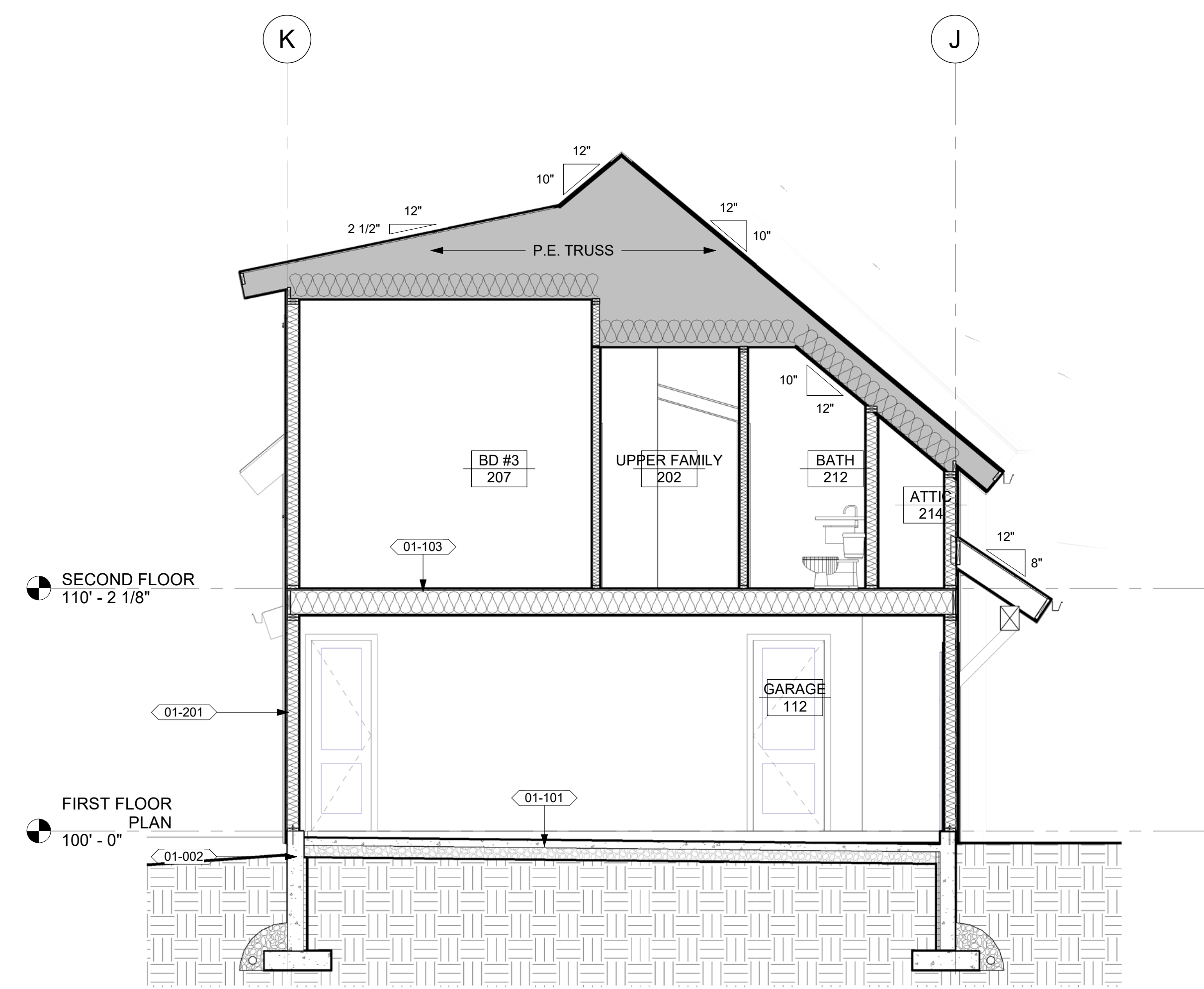
SORENSEN RESIDENCE

GRANITE HILL
KALISPELL, MT 59901

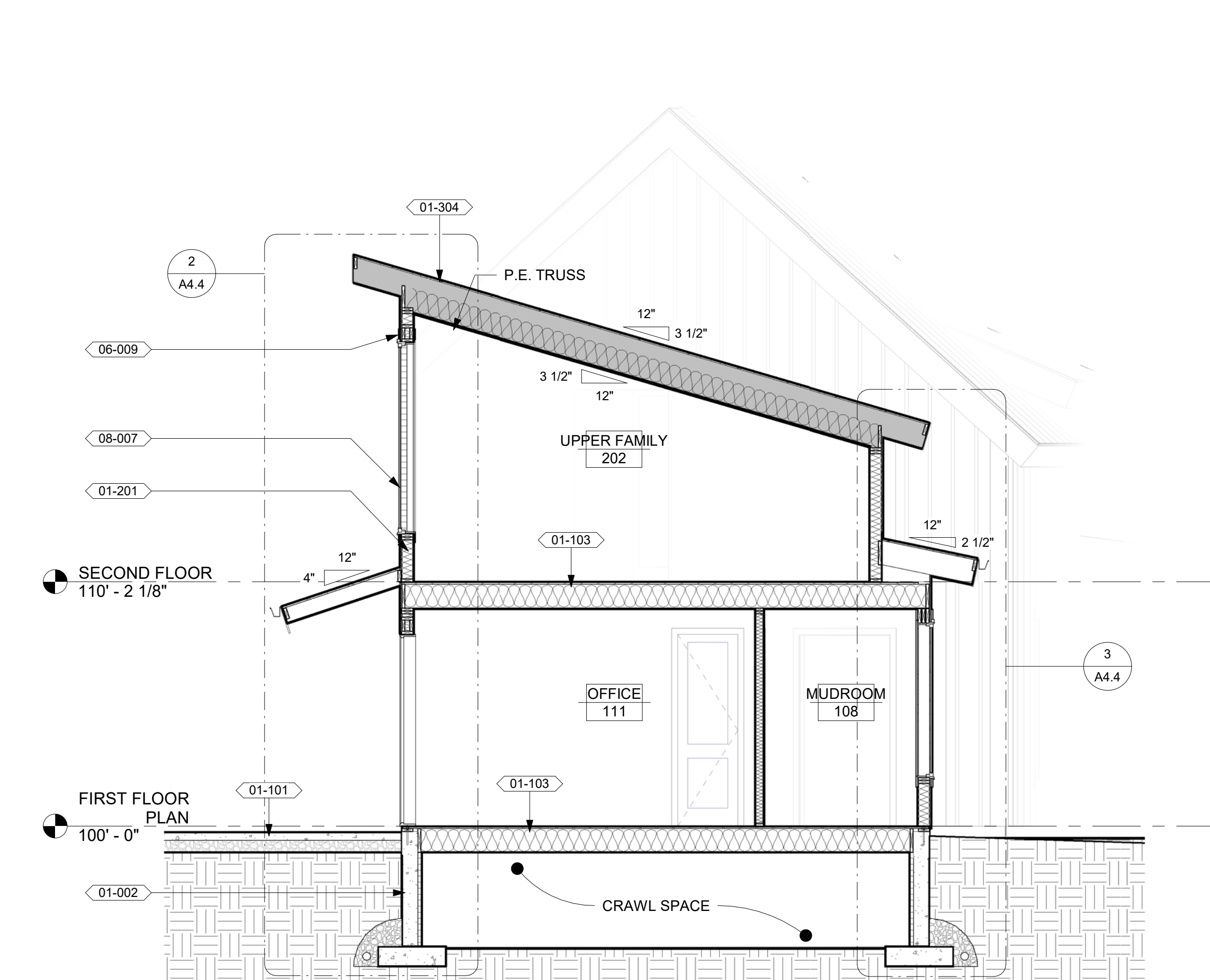
A3.1



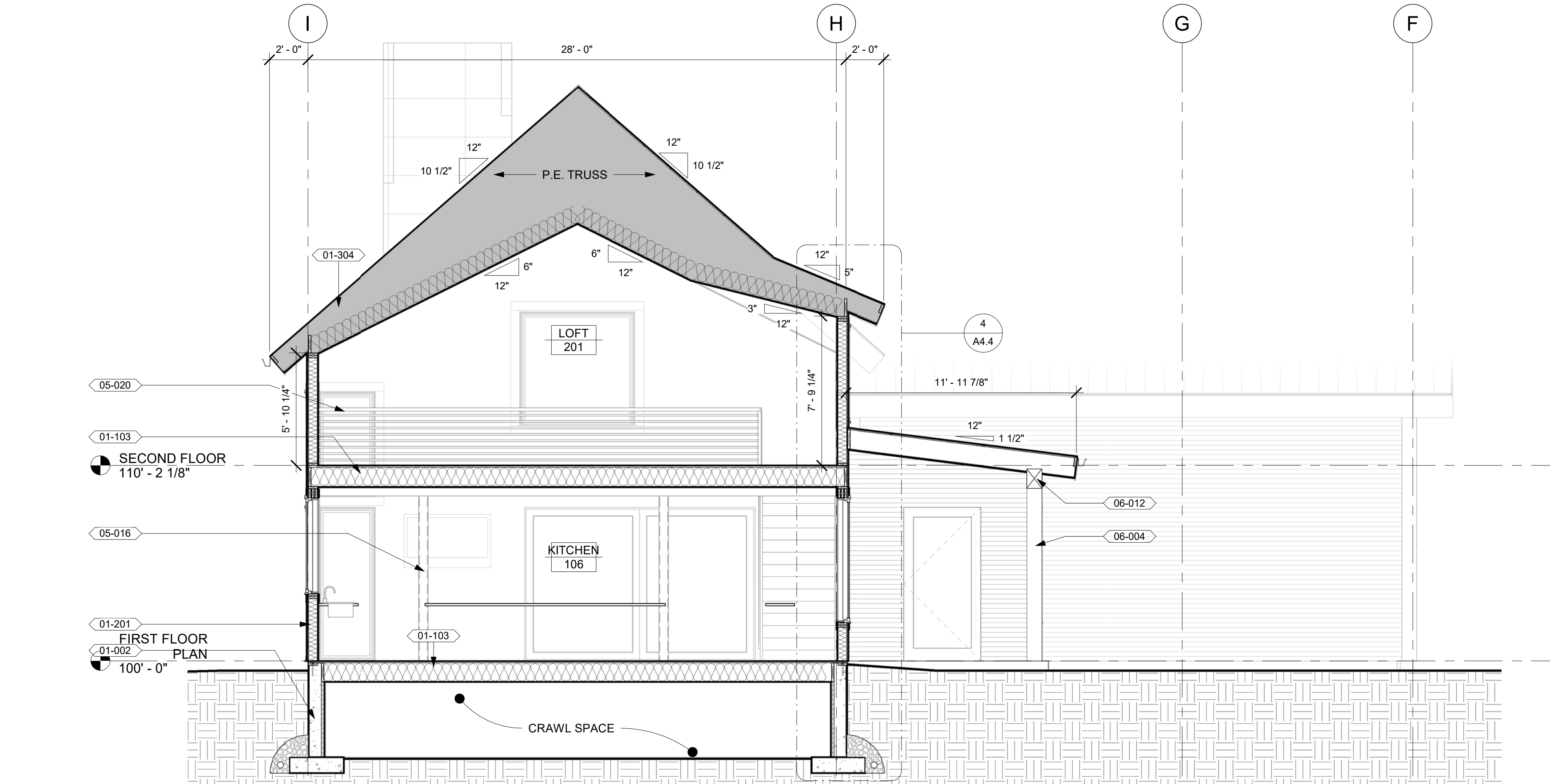
1
A4.1
BUILDING SECTION A
1/4" = 1'-0"



2
A4.1
BUILDING SECTION B
1/4" = 1'-0"



3
A4.1
BUILDING SECTION C
1/4" = 1'-0"



4
A4.1
BUILDING SECTION D
1/4" = 1'-0"

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
01-002	CONC. FOUNDATION WALL TYP - DAMPROOFING, CONCRETE FOUNDATION WALL - SEE STRUCTURE. INSULATION TO MEET MIN OF R-19 W/ FIBERGLASS OF R-10 W/FOAM
01-101	CONC. PATIO SEE STRUCTURE
01-103	FLOOR, TYP - FINISH FLOOR PER R.F.S., FRAMING PER STRUCTURAL. INSULATION TO MEET MIN OF R-30 (OVER UNHEATED SPACES). ACOUSTICAL INSULATION OPTIONAL BETWEEN FLOOR LEVELS, 5/8" GYP BOARD, FINISH PER R.F.S.
01-201	EXTERIOR WALL, TYP - SIDING - SEE ELEVATIONS. VAPOR PERMEABLE BUILDING PAPER OR HOUSEWRAP, SHEATHING - SEE STRUCT., 2X FRAMING - SEE STRUCT (BOTTOM PLATE SET IN SILL SEALANT), R-21 INSULATION TO FILL VOIDS, 1/2" GYPSUM BOARD, INTERIOR FINISHES-SEE R.F.S.
01-304	ROOF, TYP - STANDING SEAM METAL ROOFING, INSTALLED PER MANF. RECCOMENDATIONS; SHEATHING SEE STRUCTURAL. P.E. TRUSSES OR FRAMING, SEE STRUCTURAL, 1" CONTINUOUS AIRSPACE, MIN. R49 INSULATION, 6 MIL. VAPOR BARRIER, 5/8" GYPSUM BOARD CEILING, SEE R.F.S.
05-016	TUBE STEEL COLUMN - SEE STRUCT.
05-020	RAILING - SEE DETAIL
06-004	WOOD COLUMN - 10x12, SEE STRUCT. FOR CONNECTIONS, STAIN TBD BY CONTRACTOR
06-009	WOOD WINDOW TRIM - SEE DETAIL
06-012	WOOD WINDOW SILL, INTERIOR - SEE DETAIL ON SHEET A6.1
08-007	VINYL WINDOW, CONTRACTOR TO SELECT MODEL, COLOR, AND OPERATION

NOT FOR CONSTRUCTION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect in the State of Montana, practicing in Whitefish, Montana.

17-26
Date: 9/25/17
Reg. No. 2932
AARON J.

THESE PLANS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF MONTANA CREATIVE ARCHITECTURE AND DESIGN. ANY REPRODUCTION OR REUSE OF THESE DOCUMENTS IS FORBIDDEN WITHOUT WRITTEN PERMISSION FROM MONTANA CREATIVE ARCHITECTURE AND DESIGN.

Project Number: 17-26
Date: 9/25/17
Drawn By: JKR
Checked By: RJN
Revisions:

REVISION SCHEDULE		
#	DESCRIPTION	DATE

Montana Creative
architecture + design

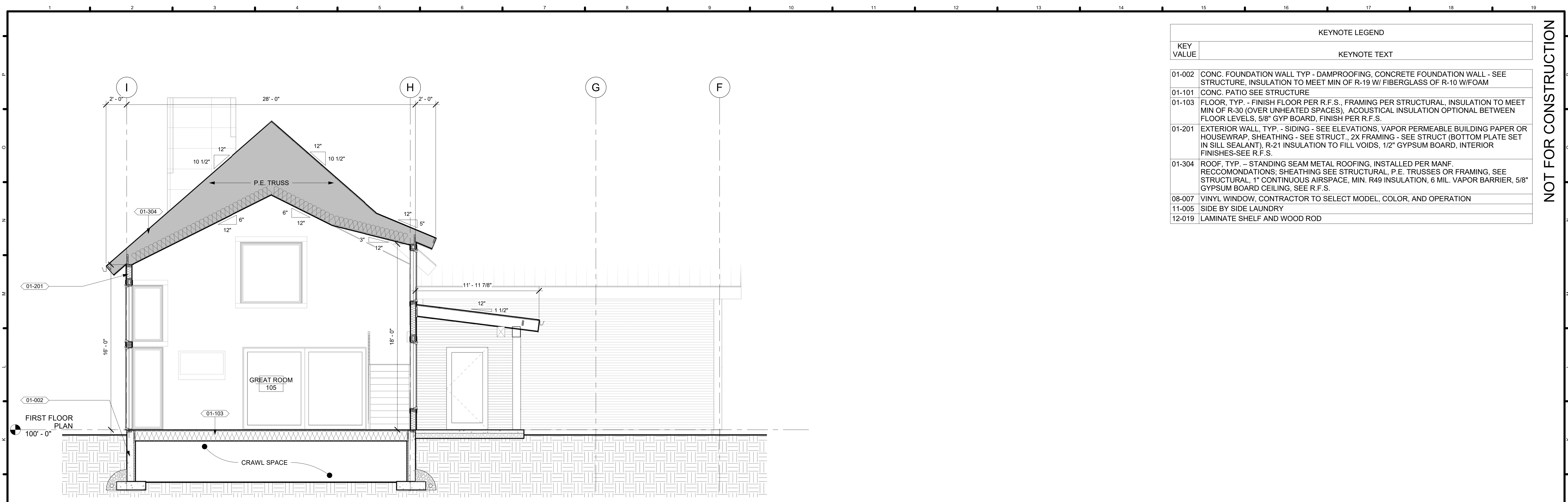
MONTANA CREATIVE ARCHITECTURE + DESIGN
158 RAILWAY ST.
WHITEFISH, MT 59937
406.862.8152

BUILDING SECTIONS

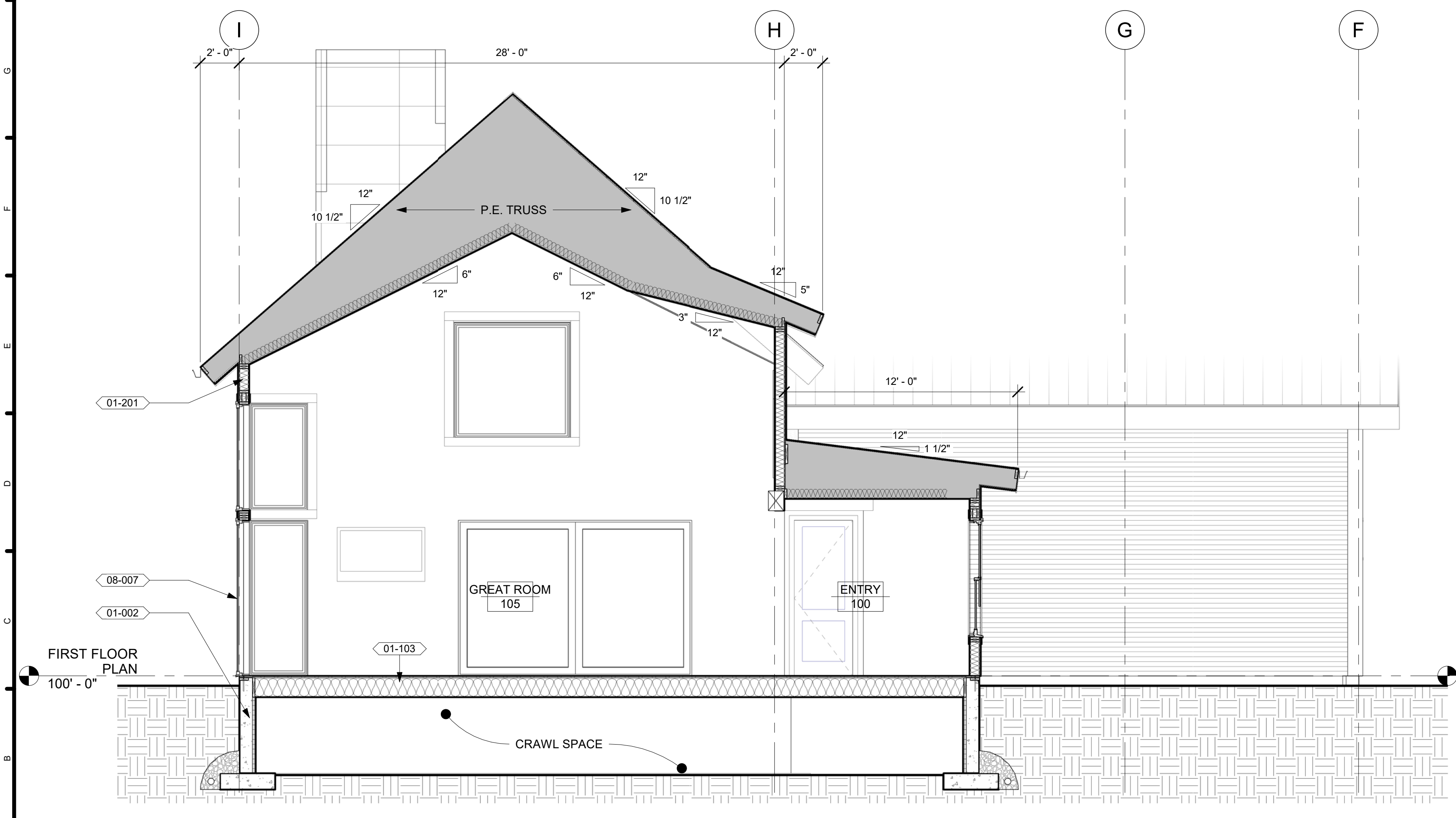
SORENSEN RESIDENCE

GRANITE HILL
KALISPELL, MT 59901

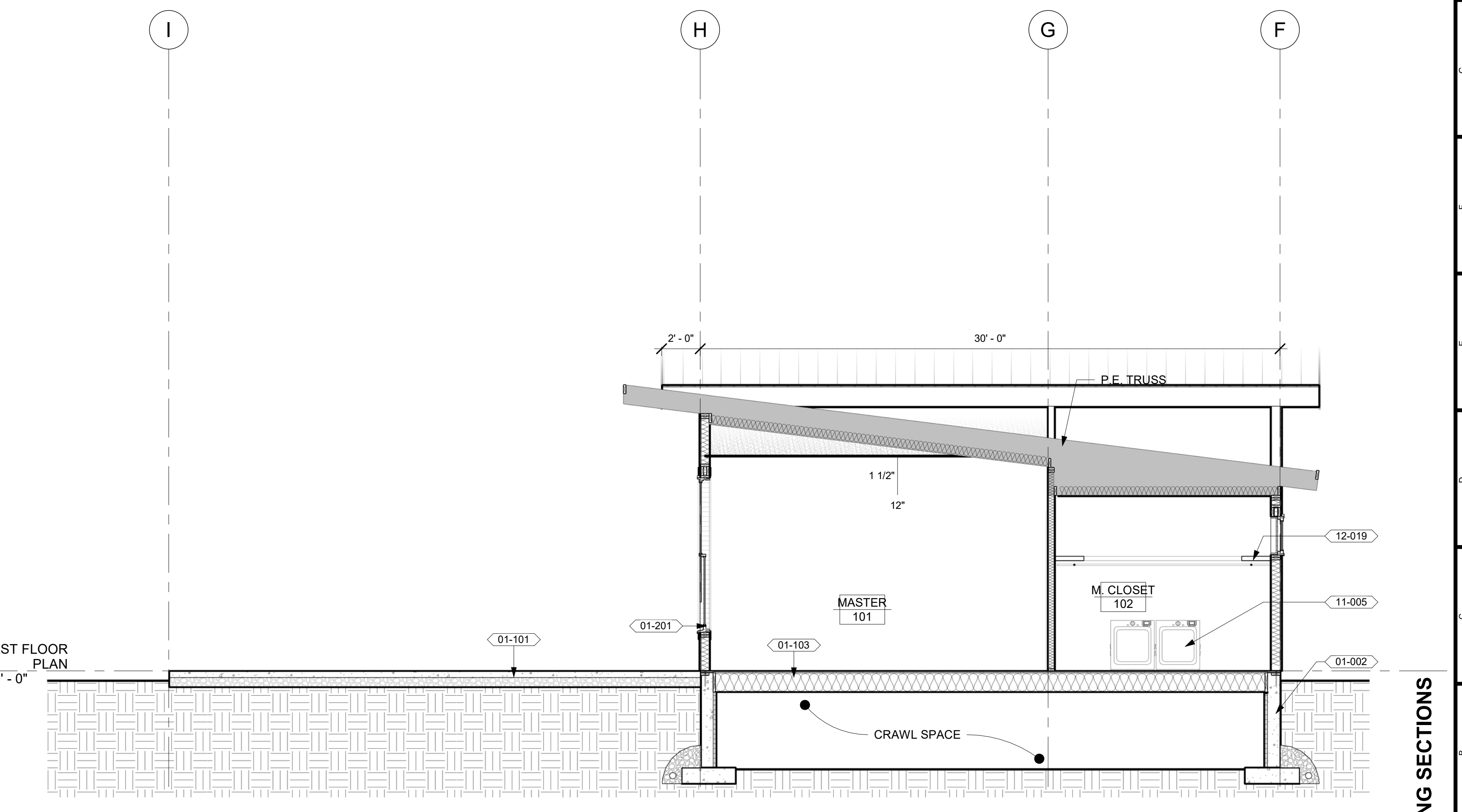
A4.1



1
A4.2 **BUILDING SECTION E**
1/4" = 1'-0"



2
A4.2 **BUILDING SECTION F**
1/4" = 1'-0"



3
A4.2 **BUILDING SECTION G**
1/4" = 1'-0"

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
01-002	CONC. FOUNDATION WALL TYP - DAMPROOFING, CONCRETE FOUNDATION WALL - SEE STRUCTURE, INSULATION TO MEET MIN OF R-19 W/ FIBERGLASS OF R-10 W/FOAM
01-101	CONC. PATIO SEE STRUCTURE
01-103	FLOOR, TYP. - FINISH FLOOR PER R.F.S., FRAMING PER STRUCTURAL, INSULATION TO MEET MIN OF R-30 (OVER UNHEATED SPACES), ACOUSTICAL INSULATION OPTIONAL BETWEEN FLOOR LEVELS, 5/8" GYP BOARD, FINISH PER R.F.S.
01-201	EXTERIOR WALL, TYP. - SIDING - SEE ELEVATIONS, VAPOR PERMEABLE BUILDING PAPER OR HOUSEWRAP, SHEATHING - SEE STRUCT., 2X FRAMING - SEE STRUCT (BOTTOM PLATE SET IN SILL SEALANT), R-21 INSULATION TO FILL VOIDS, 1/2" GYPSUM BOARD, INTERIOR FINISHES-SEE R.F.S.
01-304	ROOF, TYP. - STANDING SEAM METAL ROOFING, INSTALLED PER MANF. RECCOMONDATIONS; SHEATHING SEE STRUCTURAL, P.E. TRUSSES OR FRAMING, SEE STRUCTURAL, 1" CONTINUOUS AIRSPACE, MIN. R49 INSULATION, 6 MIL. VAPOR BARRIER, 5/8" GYPSUM BOARD CEILING, SEE R.F.S.
08-007	VINYL WINDOW, CONTRACTOR TO SELECT MODEL, COLOR, AND OPERATION
11-005	SIDE BY SIDE LAUNDRY
12-019	LAMINATE SHELF AND WOOD ROD

NOT FOR CONSTRUCTION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect in the State of Montana, practicing in Whitefish, Montana.

17-26
Date: 9/25/17
Reg. No. 2932
AARON J.

THESE PLANS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF MONTANA CREATIVE ARCHITECTURE AND DESIGN. ANY REPRODUCTION OR REUSE OF THESE DOCUMENTS IS FORBIDDEN WITHOUT WRITTEN PERMISSION FROM MONTANA CREATIVE ARCHITECTURE AND DESIGN.

Project Number: 17-26
Date: 9/25/17
Drawn By: JKR
Checked By: RJN
Revisions:

REVISION SCHEDULE

#	DESCRIPTION	DATE
---	-------------	------

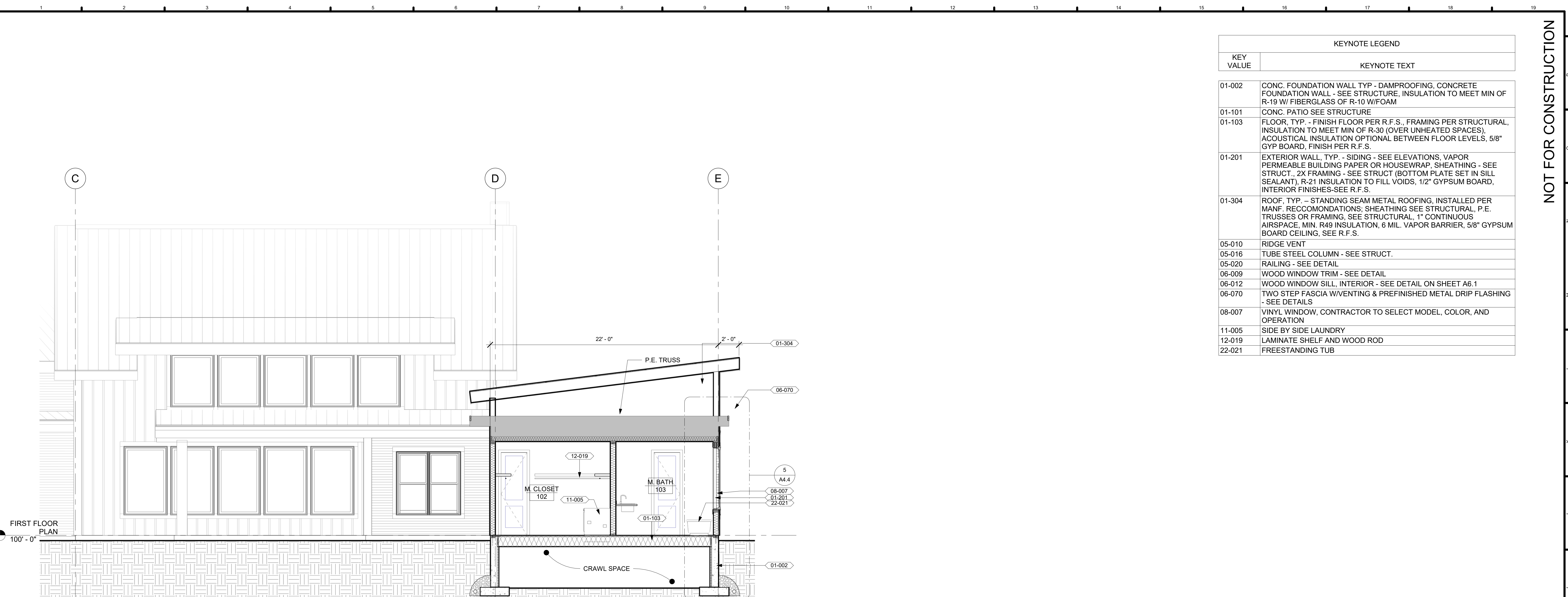
Montana Creative
architecture + design

MONTANA CREATIVE
ARCHITECTURE
+ DESIGN
158 RAILWAY ST.
WHITEFISH, MT 59937
406.862.8152

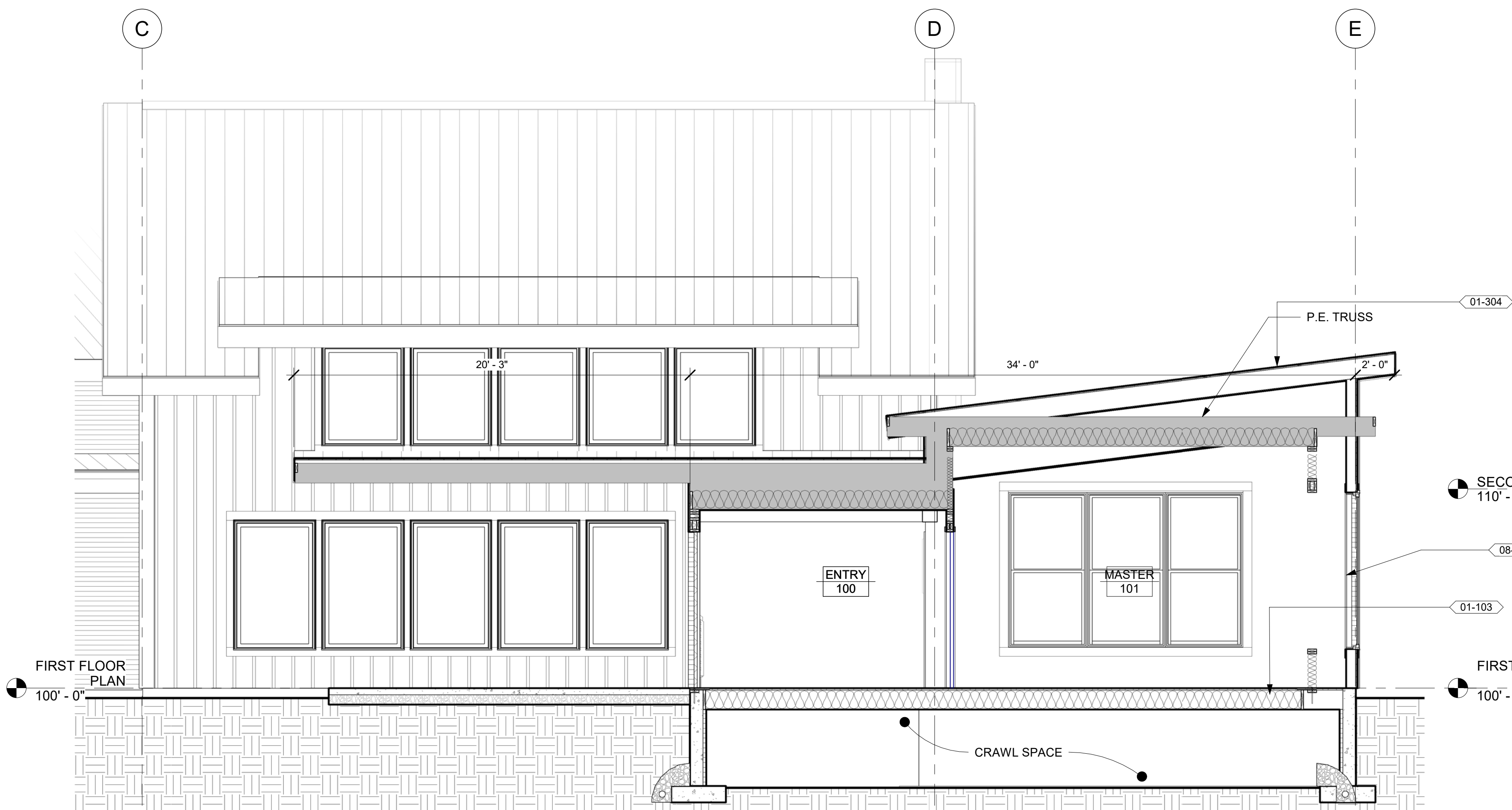
SORENSEN RESIDENCE

GRANITE HILL
KALISPELL, MT 59901

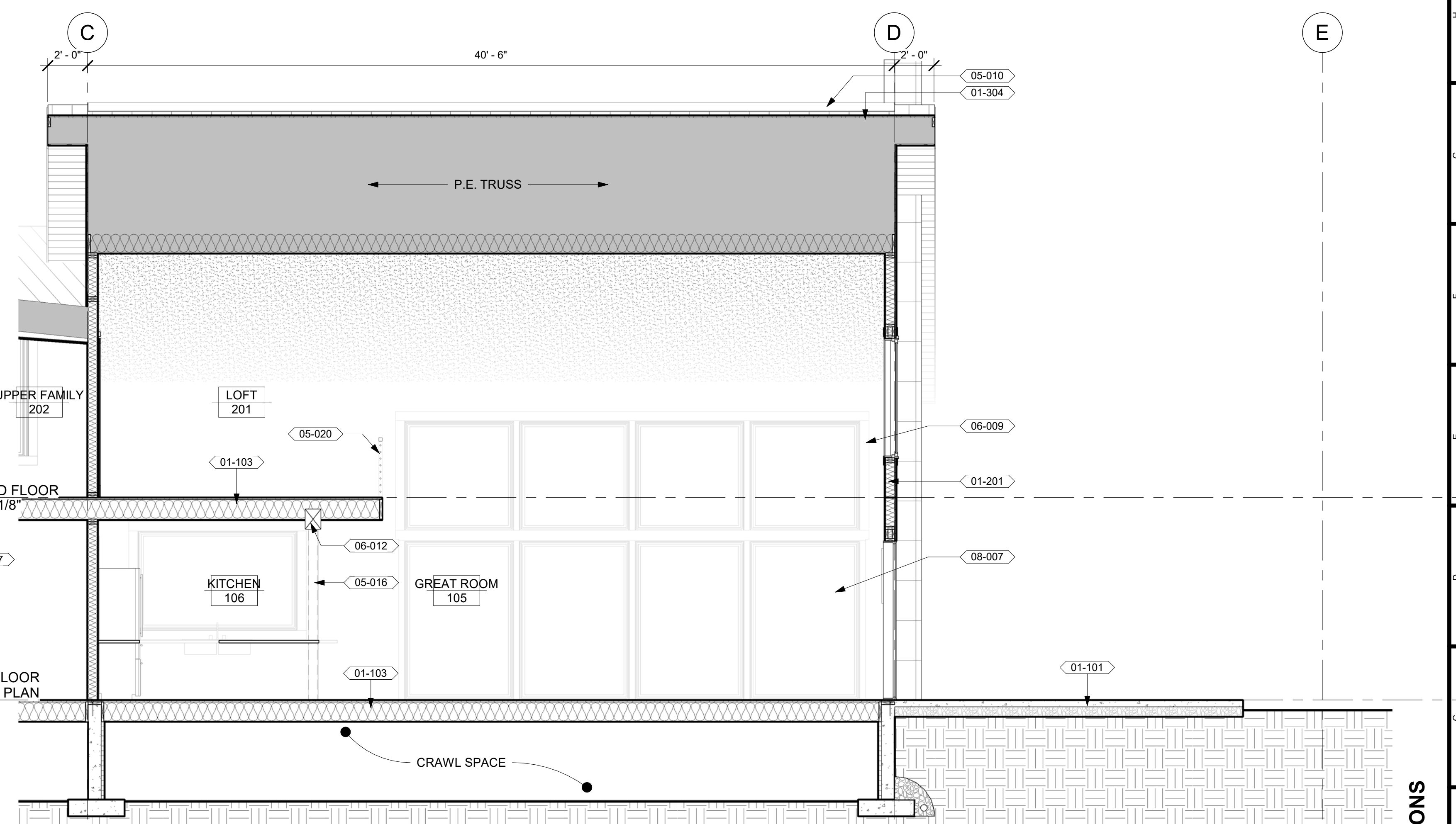
A4.2



1 BUILDING SECTION H
A4.3 1/4" = 1'-0"



2 BUILDING SECTION I
A4.3 1/4" = 1'-0"



3 BUILDING SECTION J
A4.3 1/4" = 1'-0"

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
01-002	CONC. FOUNDATION WALL TYP - DAMPROOFING, CONCRETE FOUNDATION WALL - SEE STRUCTURE, INSULATION TO MEET MIN OF R-19 W/ FIBERGLASS OF R-10 W/FOAM
01-101	CONC. PATIO SEE STRUCTURE
01-103	FLOOR, TYP. - FINISH FLOOR PER R.F.S., FRAMING PER STRUCTURAL, INSULATION TO MEET MIN OF R-30 (OVER UNHEATED SPACES), ACOUSTICAL INSULATION OPTIONAL BETWEEN FLOOR LEVELS, 5/8" GYP BOARD, FINISH PER R.F.S.
01-201	EXTERIOR WALL, TYP. - SIDING - SEE ELEVATIONS, VAPOR PERMEABLE BUILDING PAPER OR HOUSEWRAP, SHEATHING - SEE STRUCT., 2X FRAMING - SEE STRUCT (BOTTOM PLATE SET IN SILL SEALANT), R-21 INSULATION TO FILL VOIDS, 1/2" GYPSUM BOARD, INTERIOR FINISHES-SEE R.F.S.
01-304	ROOF, TYP. - STANDING SEAM METAL ROOFING, INSTALLED PER MANF. RECOMMENDATIONS, SHEATHING SEE STRUCTURAL, P.E. TRUSSES OR FRAMING, SEE STRUCTURAL, 1" CONTINUOUS AIRSPACE, MIN. R49 INSULATION, 6 MIL. VAPOR BARRIER, 5/8" GYPSUM BOARD CEILING, SEE R.F.S.
05-010	RIDGE VENT
05-016	TUBE STEEL COLUMN - SEE STRUCT.
05-020	RAILING - SEE DETAIL
06-009	WOOD WINDOW TRIM - SEE DETAIL
06-012	WOOD WINDOW SILL, INTERIOR - SEE DETAIL ON SHEET A6.1
06-070	TWO STEP FASCIA W/VENTING & PREFINISHED METAL DRIP FLASHING - SEE DETAILS
08-007	VINYL WINDOW, CONTRACTOR TO SELECT MODEL, COLOR, AND OPERATION
11-005	SIDE BY SIDE LAUNDRY
12-019	LAMINATE SHELF AND WOOD ROD
22-021	FREESTANDING TUB

NOT FOR CONSTRUCTION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional architect in the State of Montana, practicing in Whitefish, Montana.
17-26
 Date: 9/25/17
 Reg. No. 2932
 AARON J.

THESE PLANS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF MONTANA CREATIVE ARCHITECTURE AND DESIGN. ANY REPRODUCTION OR REUSE OF THESE DOCUMENTS IS FORBIDDEN WITHOUT WRITTEN PERMISSION FROM MONTANA CREATIVE ARCHITECTURE AND DESIGN.

Project Number: 17-26
 Date: 9/25/17
 Drawn By: Author
 Checked By: RJN
 Revisions: 06/09/17

REVISION SCHEDULE
 # DESCRIPTION DATE

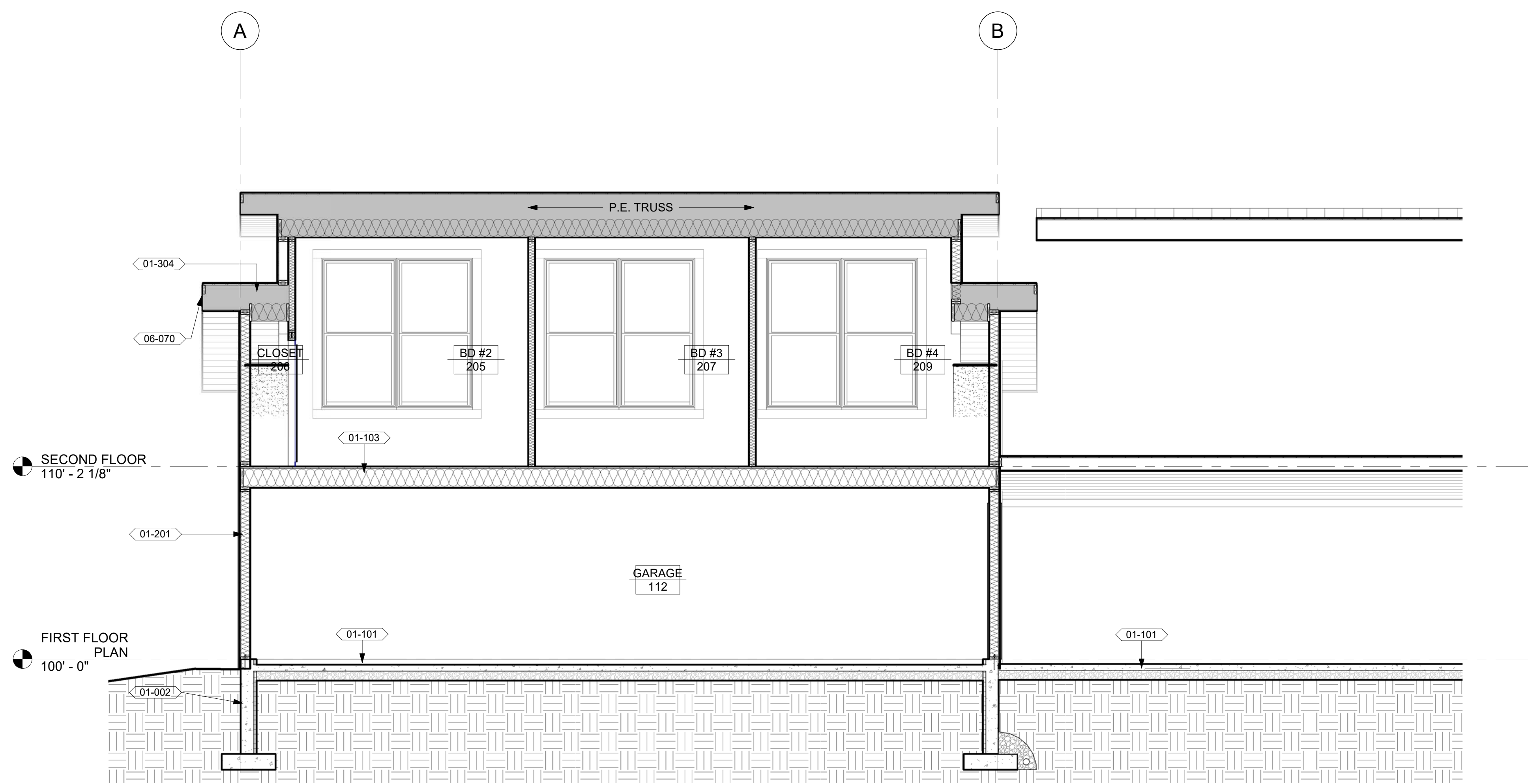
Montana Creative
 architecture + design

MONTANA CREATIVE ARCHITECTURE + DESIGN
 158 RAILWAY ST.
 WHITEFISH, MT 59937
 406.862.8152

BUILDING SECTIONS

SORENSEN RESIDENCE

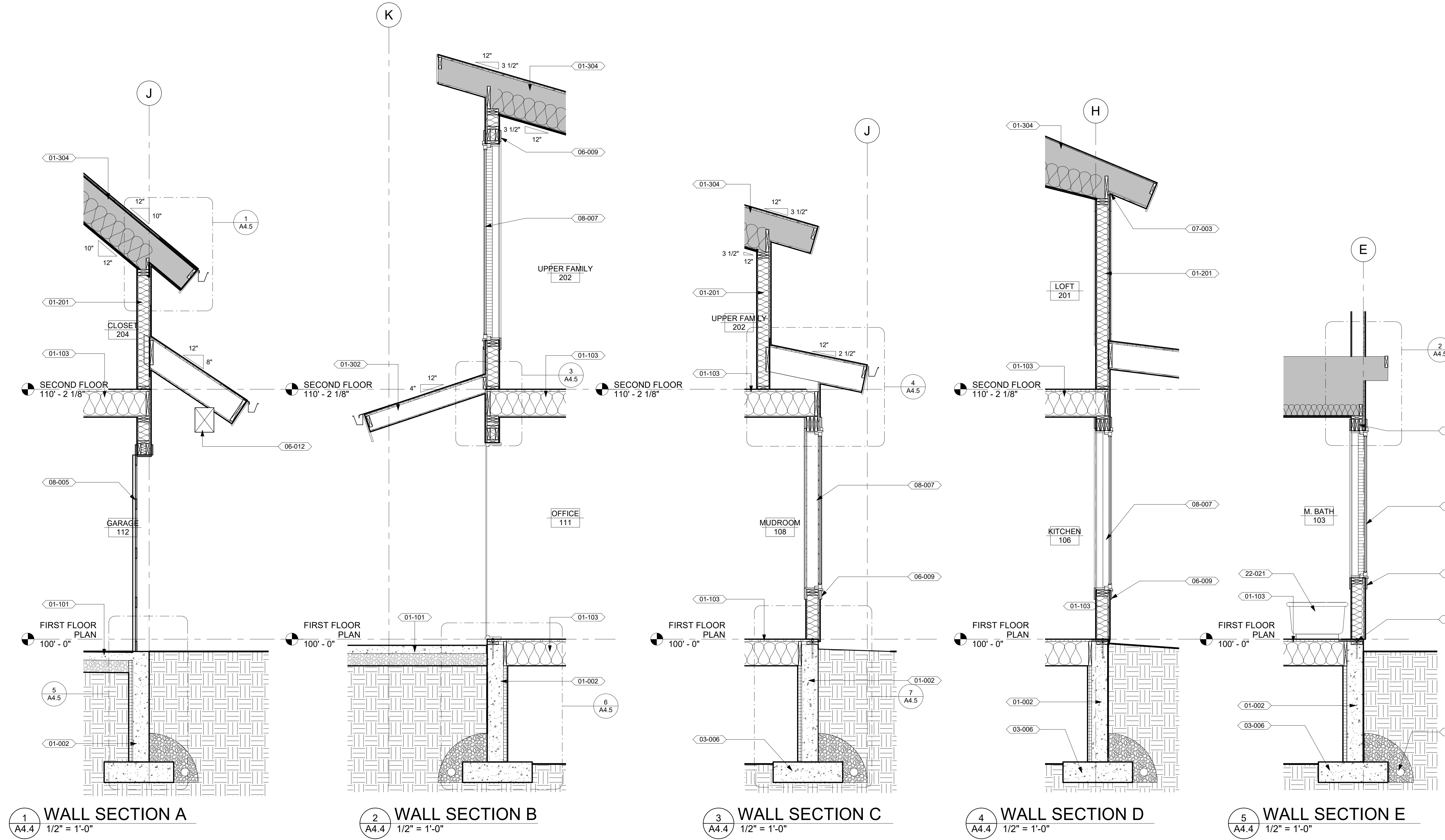
GRANITE HILL
 KALISPELL, MT 59901



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
01-002	CONC. FOUNDATION WALL TYP - DAMPROOFING, CONCRETE FOUNDATION WALL - SEE STRUCTURE, INSULATION TO MEET MIN OF R-19 W/ FIBERGLASS OF R-10 W/FOAM
01-101	CONC. PATIO SEE STRUCTURE
01-103	FLOOR, TYP. - FINISH FLOOR PER R.F.S., FRAMING PER STRUCTURAL, INSULATION TO MEET MIN OF R-30 (OVER UNHEATED SPACES), ACOUSTICAL INSULATION OPTIONAL BETWEEN FLOOR LEVELS, 5/8" GYP BOARD, FINISH PER R.F.S.
01-201	EXTERIOR WALL, TYP. - SIDING - SEE ELEVATIONS, VAPOR PERMEABLE BUILDING PAPER OR HOUSEWRAP, SHEATHING - SEE STRUCT., 2X FRAMING - SEE STRUCT (BOTTOM PLATE SET IN SILL SEALANT), R-21 INSULATION TO FILL VOIDS, 1/2" GYPSUM BOARD, INTERIOR FINISHES-SEE R.F.S.
01-302	ROOF LOW SLOPE - CORRUGATED METAL ROOF, INSTALLED PER MANF. RECOMONDATIONS, ICE AND WATER SHIELD, ROOF SHEATHING, SEE STRUCTURAL, TJI FRAMING, SEE STRUCTURAL, 1" CONTINUOUS AIR SPACE, INSULATION WITH A R-VALUE MIN. OF R-49, 6 MIL. VAPOR BARRIER, 1/2" GYPSUM BOARD

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
01-304	ROOF, TYP. - STANDING SEAM METAL ROOFING, INSTALLED PER MANF. RECOMONDATIONS; SHEATHING SEE STRUCTURAL, P.E. TRUSSES OR FRAMING, SEE STRUCTURAL, 1" CONTINUOUS AIRSPACE, MIN. R49 INSULATION, 6 MIL. VAPOR BARRIER, 5/8" GYPSUM BOARD CEILING, SEE R.F.S.
03-006	TRENCH DRAIN - SEE DETAIL
04-001	4" FRENCH DRAIN W/ NONWOVEN GEOTEXTILE FABRIC SURROUND, 2'X2' TRENCH WITH DRAIN ROCK, RUN AROUND PERIMETER OF BUILDING
05-009	ANCHOR BOLTS - SEE STRUCTURAL
06-009	WOOD WINDOW TRIM - SEE DETAIL
06-012	WOOD WINDOW SILL, INTERIOR - SEE DETAIL ON SHEET A6.1
06-017	HEADER - SEE STRUCT.
06-070	TWO STEP FASCIA W/VENTING & PREFINISHED METAL DRIP FLASHING - SEE DETAILS
07-001	PREFINISHED METAL FLASHING, RUN UP WALL 4" MIN., SEALANT ALL AROUND, OVERLAP BUILDING WRAP OVER FACE, TYP AT ALL INTERSECTIONS
07-002	PREFINISHED METAL DRIP EDGE
07-003	SEALANT, TYP.
07-005	1/2" EXPANSION MATERIAL
07-025	PREFINISHED METAL GUTTER WITH DOWNSPOUTS, STYLE AND COLOR TBD BY CONTRACTOR
08-005	OVERHEAD GARAGE DOOR - SEE SPECIFICATIONS
08-007	VINYL WINDOW, CONTRACTOR TO SELECT MODEL, COLOR, AND OPERATION
22-021	FREESTANDING TUB

6
A4.4 BUILDING SECTION K
1/4" = 1'-0"



1
A4.4 WALL SECTION A
1/2" = 1'-0"

2
A4.4 WALL SECTION B
1/2" = 1'-0"

3
A4.4 WALL SECTION C
1/2" = 1'-0"

4
A4.4 WALL SECTION D
1/2" = 1'-0"

5
A4.4 WALL SECTION E
1/2" = 1'-0"

NOT FOR CONSTRUCTION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect in the State of Montana, practicing in Whitefish, Montana.
17-26
Date: 9/25/17
Reg. No. 2932
AARON J.

THESE PLANS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF MONTANA CREATIVE ARCHITECTURE AND DESIGN. ANY REPRODUCTION OR REUSE OF THESE DOCUMENTS IS FORBIDDEN WITHOUT WRITTEN PERMISSION FROM MONTANA CREATIVE ARCHITECTURE AND DESIGN.
Project Number: 17-26
Date: 9/25/17
Drawn By: JKR
Checked By: RJN
Revisions:

REVISION SCHEDULE	
#	DESCRIPTION

Montana Creative
architecture + design

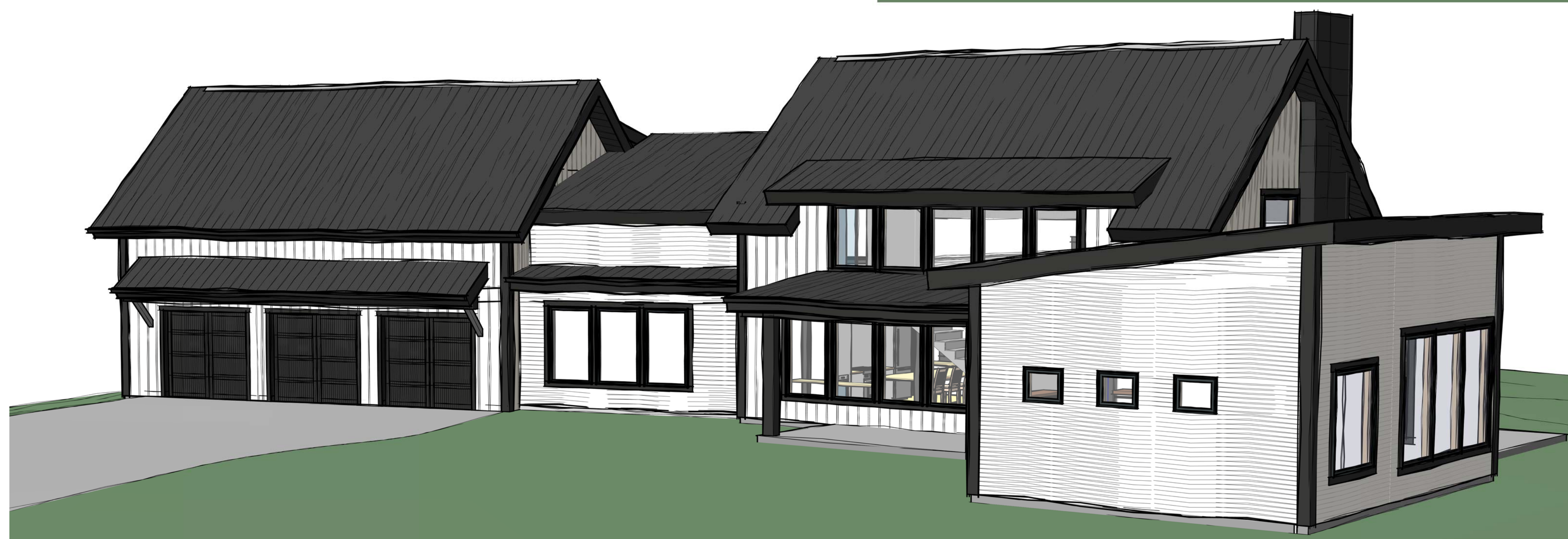
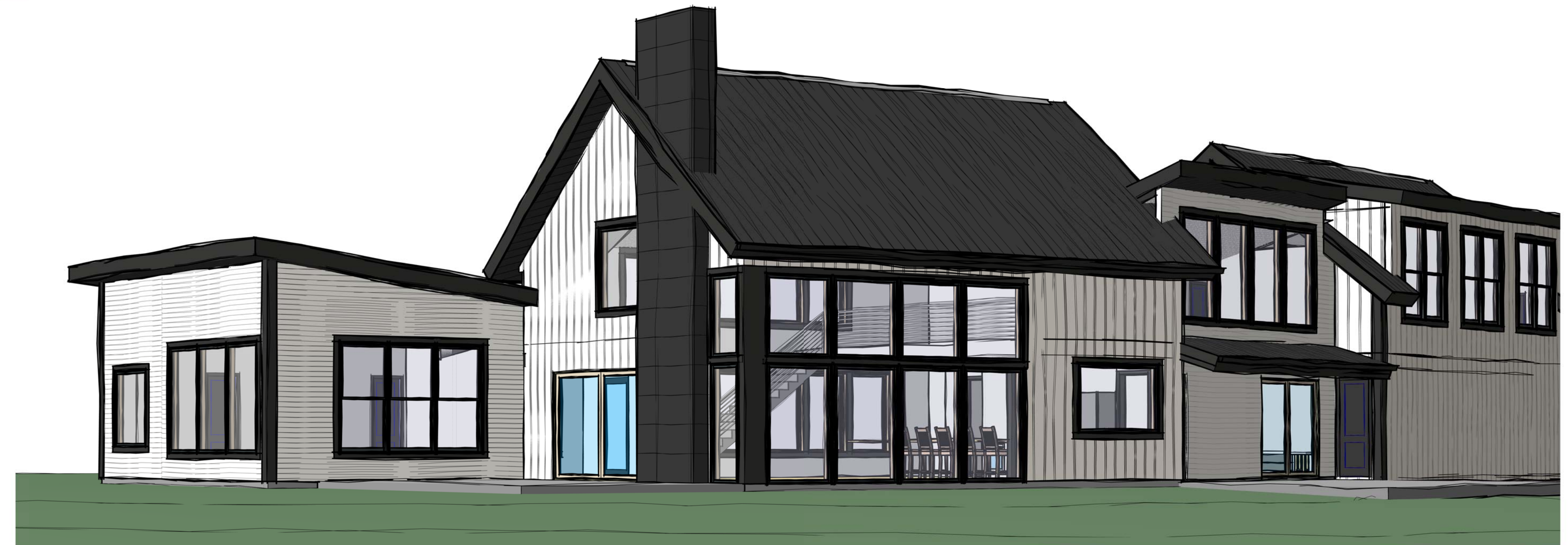
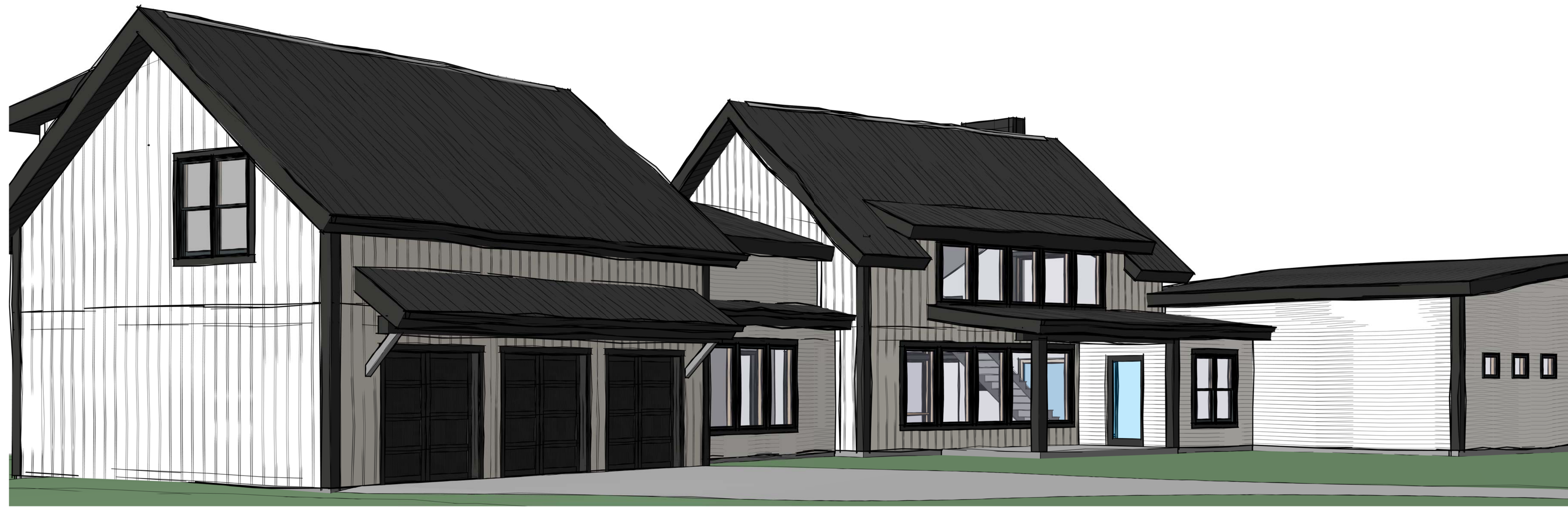
MONTANA CREATIVE ARCHITECTURE + DESIGN
158 RAILWAY ST.
WHITEFISH, MT 59937
406.862.8152

WALL SECTIONS

SORENSEN RESIDENCE

GRANITE HILL
KALISPELL, MT 59901

A4.4



NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional architect in the State of Montana, practicing in Whitefish, Montana.
 Reg. No. 2832
 AARON J.
17-26
 Date: 9/25/17

THESE PLANS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF MONTANA CREATIVE ARCHITECTURE AND DESIGN. ANY REPRODUCTION OR REUSE OF THESE DOCUMENTS IS FORBIDDEN WITHOUT WRITTEN PERMISSION FROM MONTANA CREATIVE ARCHITECTURE AND DESIGN.

Project Number: 17-26
 Date: 9/25/17
 Drawn By: JKR
 Checked By:
 Revisions:

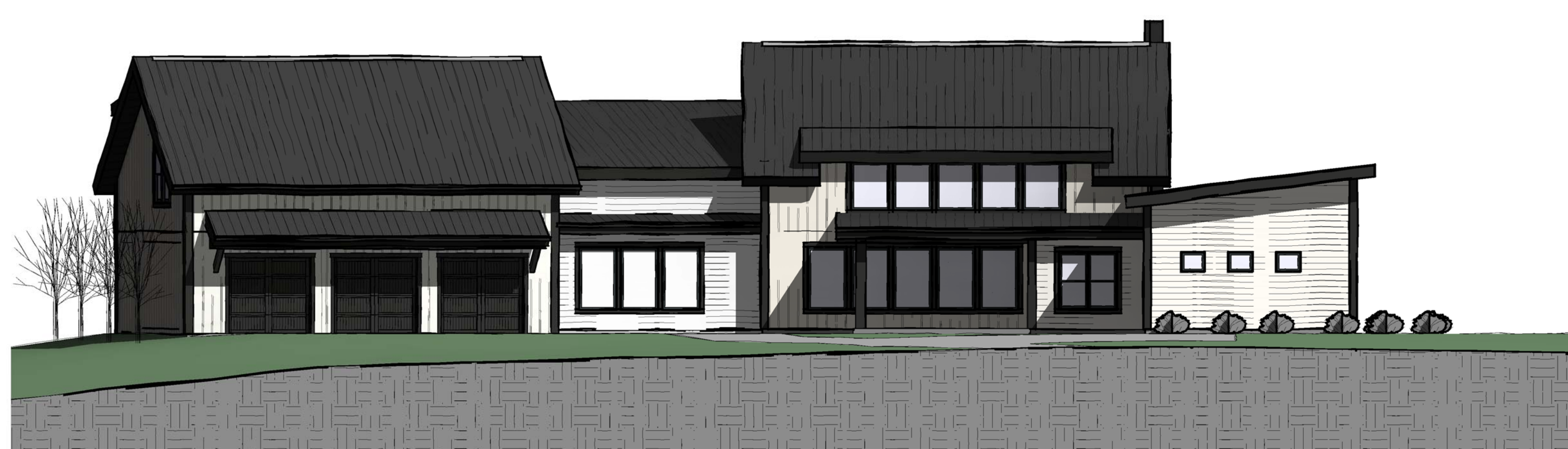
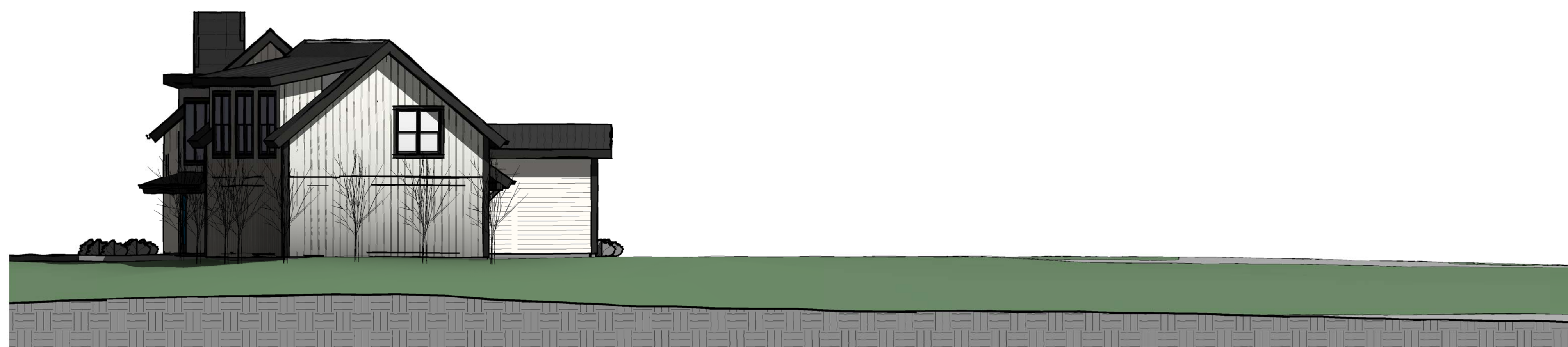
REVISION SCHEDULE
 # | DESCRIPTION | DATE

Montana Creative
 architecture + design

MONTANA CREATIVE
 ARCHITECTURE
 + DESIGN
 158 RAILWAY ST.
 WHITEFISH, MT 59937
 406.662.8152

SORENSEN RESIDENCE
 GRANITE HILL
 KALISPELL, MT 59901

PERSPECTIVES



NOT FOR CONSTRUCTION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional architect in the State of Montana, practicing in Whitefish, Montana.

17-26

Date: 9/25/17

Reg. No. 2832
AARSON, J.

THESE PLANS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF MONTANA CREATIVE ARCHITECTURE AND DESIGN. ANY REPRODUCTION OR REUSE OF THESE DOCUMENTS IS FORBIDDEN WITHOUT WRITTEN PERMISSION FROM MONTANA CREATIVE ARCHITECTURE AND DESIGN.

Project Number: 17-26
Date: 9/25/17
Drawn By: JKR
Checked By:
Revisions:

REVISION SCHEDULE

DESCRIPTION DATE

Montana Creative
architecture + design



MONTANA CREATIVE
ARCHITECTURE
+ DESIGN
158 RAILWAY ST.
WHITEFISH, MT 59937
406.662.8152

PERSPECTIVES

SORENSEN RESIDENCE

GRANITE HILL
KALISPELL, MT 59901

A9.1